

ADVERTISED
PLANS



376 PASCOE VALE ROAD
STRATHMORE
RESIDENTIAL DEVELOPMENT
TOWN PLANNING APPLICATION

DRAWING REGISTER	
No.	NAME
	COVER SHEET
201PD	GROUND FLOOR PLAN
202PD	LEVEL 1 FLOOR PLAN
203PD	LEVEL 2 FLOOR PLAN
204PD	LEVEL 3 FLOOR PLAN
205PD	LEVEL 4 FLOOR PLAN
206PD	ROOF PLAN
500PD	STREETSCAPE
501PD	ELEVATIONS
502PD	SECTIONS
801PD	SHADOW DIAGRAMS
901PD	PERSPECTIVE VIEWS

376 PASCOE VALE ROAD STRATHMORE

TOWN PLANNING AMENDMENT
COVER SHEET

201507TP

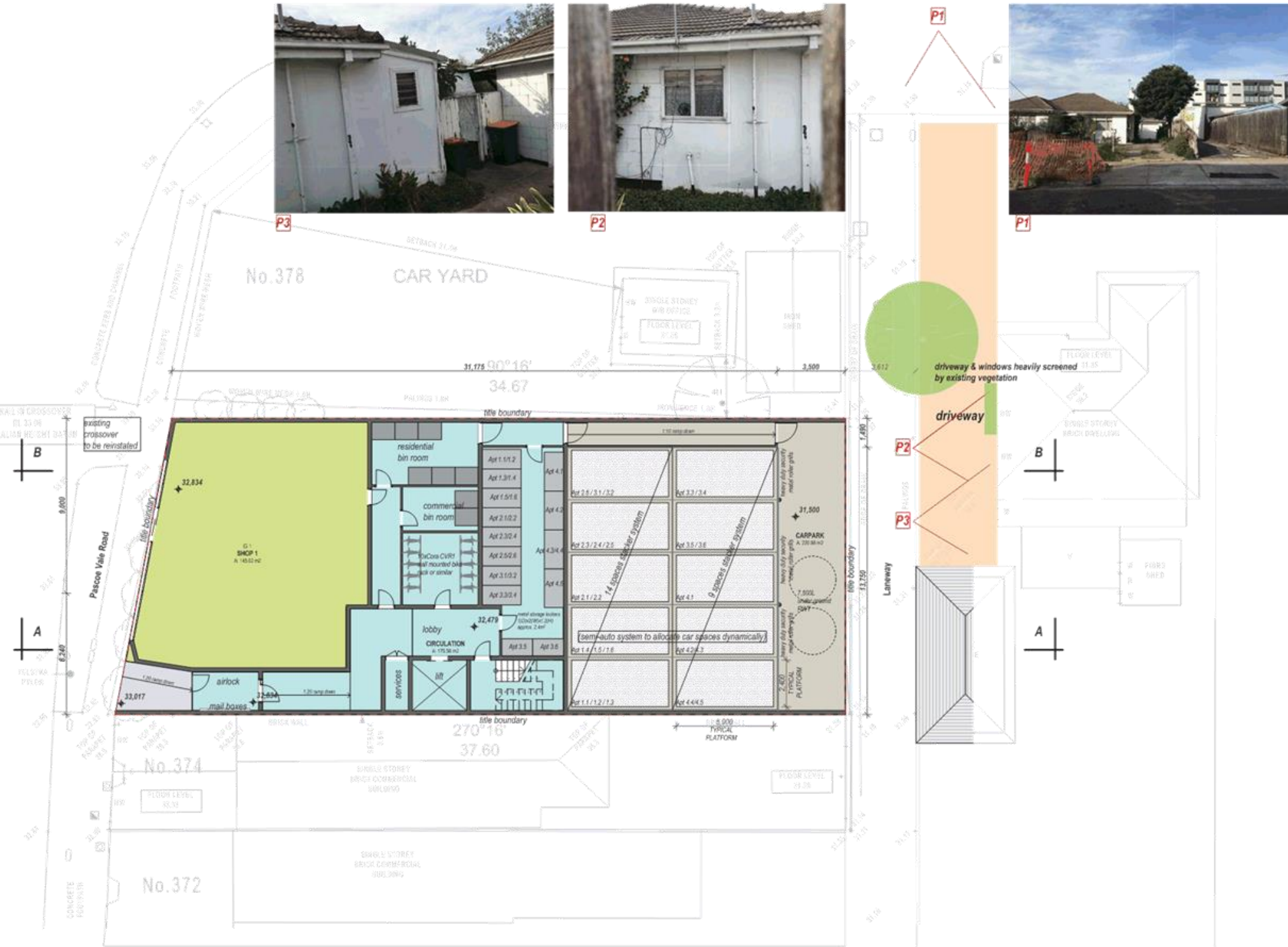


Ground	Area/Bed	Car Park Provision	Storage
Shop 1	145m ²	0	

Development Summary

Level 1	Area/Bed	Car Park Provision	Storage
Apt 1.1	66m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 1.2	68m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 1.3	62m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 1.4	62m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 1.5	66m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 1.6	66m ² / 2xbed	1	G (Approx. 2.4m ³)
Level 2	Area/Bed	Car Park Provision	Storage
Apt 2.1	65m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 2.2	69m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 2.3	62m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 2.4	62m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 2.5	64m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 2.6	64m ² / 2xbed	1	G (Approx. 2.4m ³)
Level 3	Area/Bed	Car Park Provision	Storage
Apt 3.1	66m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 3.2	63m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 3.3	52m ² / 1xbed	1	G (Approx. 2.4m ³)
Apt 3.4	50m ² / 1xbed	1	G (Approx. 2.4m ³)
Apt 3.5	65m ² / 2xbed	1	G (Approx. 3.8m ³)
Apt 3.6	65m ² / 2xbed	1	G (Approx. 3.8m ³)
Level 4	Area/Bed	Car Park Provision	Storage
Apt 4.1	57m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 4.2	59m ² / 2xbed	1	G (Approx. 2.4m ³)
Apt 4.3	52m ² / 1xbed	1	G (Approx. 2.4m ³)
Apt 4.4	50m ² / 1xbed	1	G (Approx. 2.4m ³)
Apt 4.5	65m ² / 2xbed	1	G (Approx. 3.8m ³)

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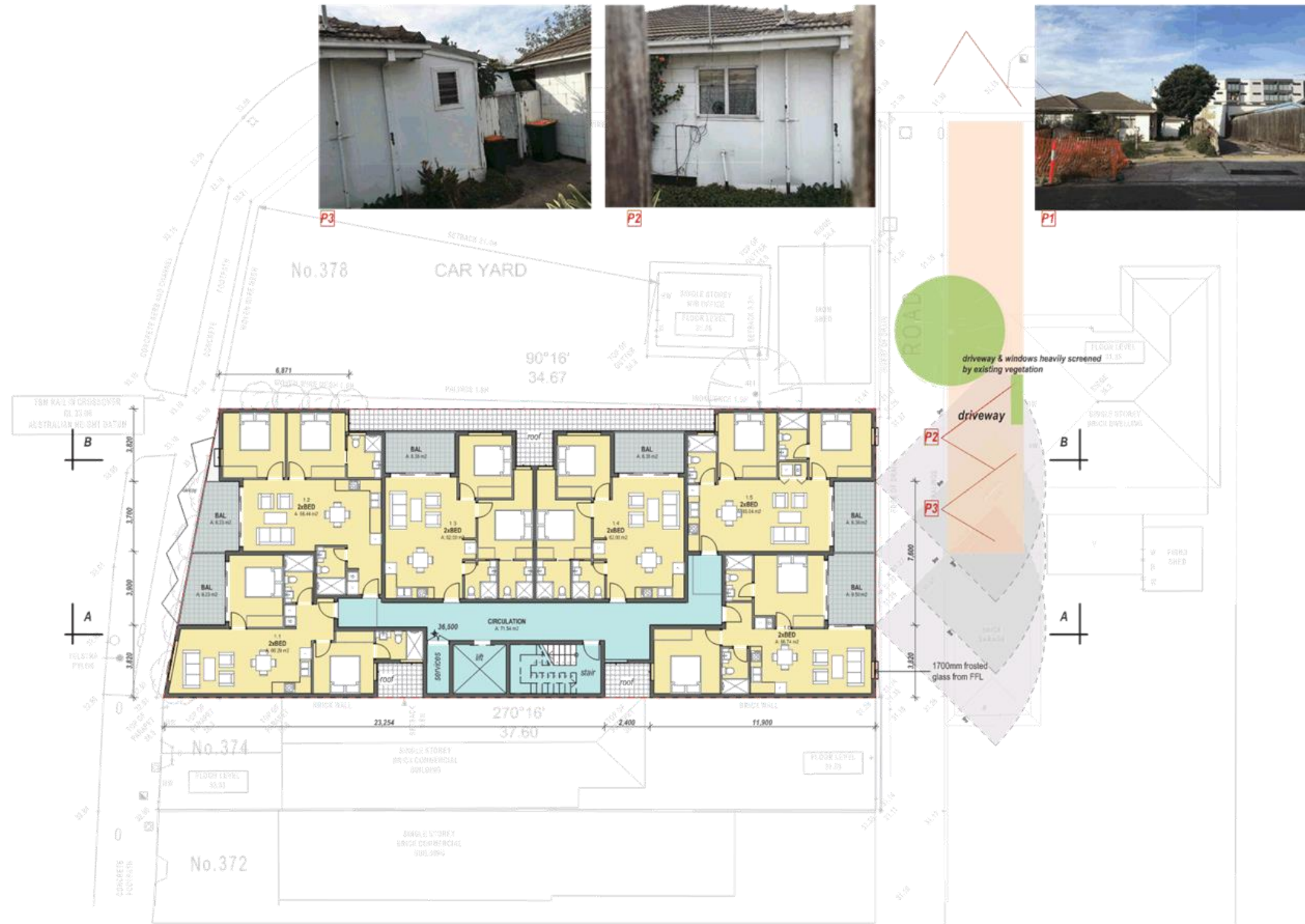
TOWN PLANNING AMENDMENT

GROUND FLOOR PLAN

201507TP201PD



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TOWN PLANNING AMENDMENT

LEVEL 1 FLOOR PLAN

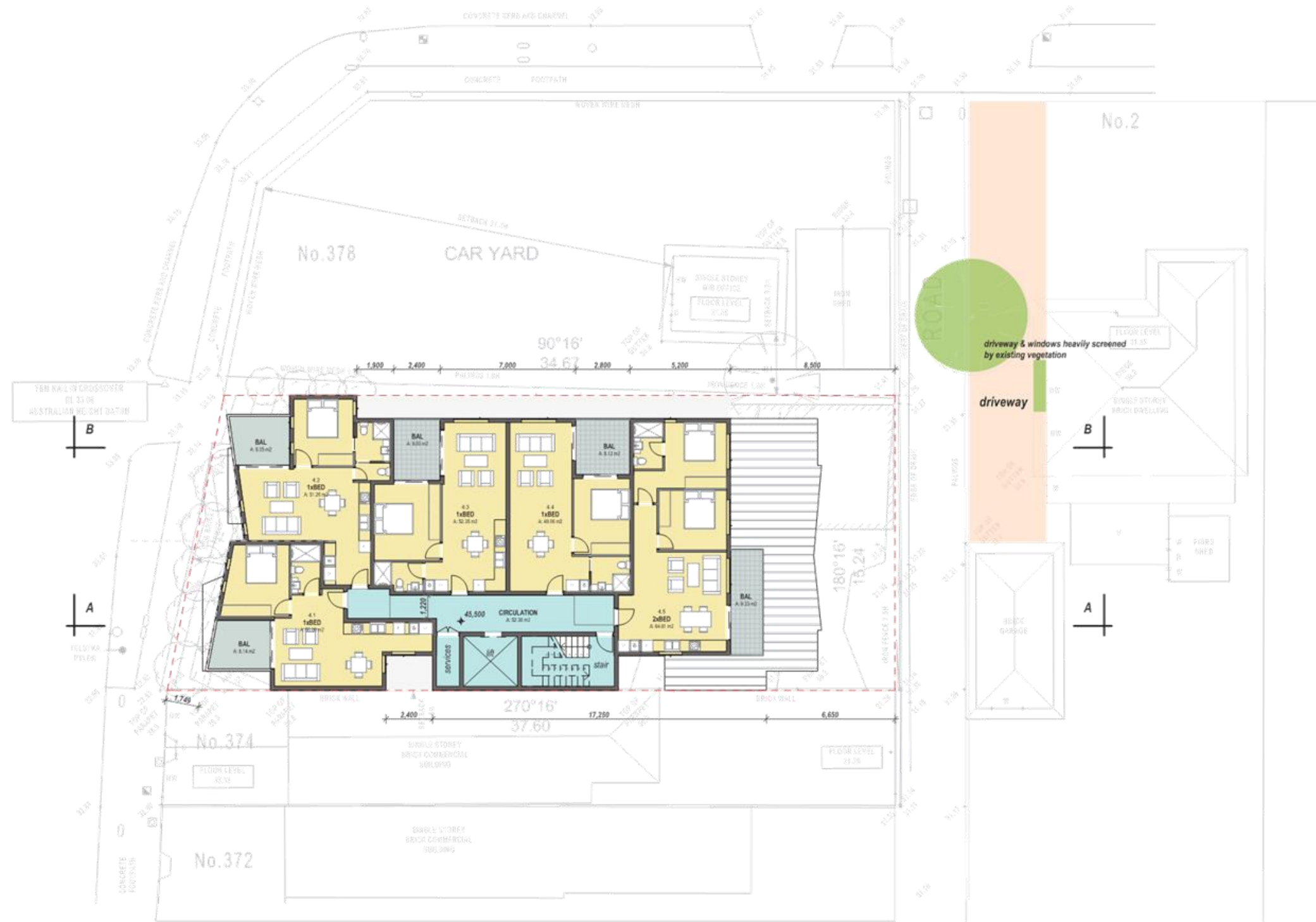
201507TP202PD

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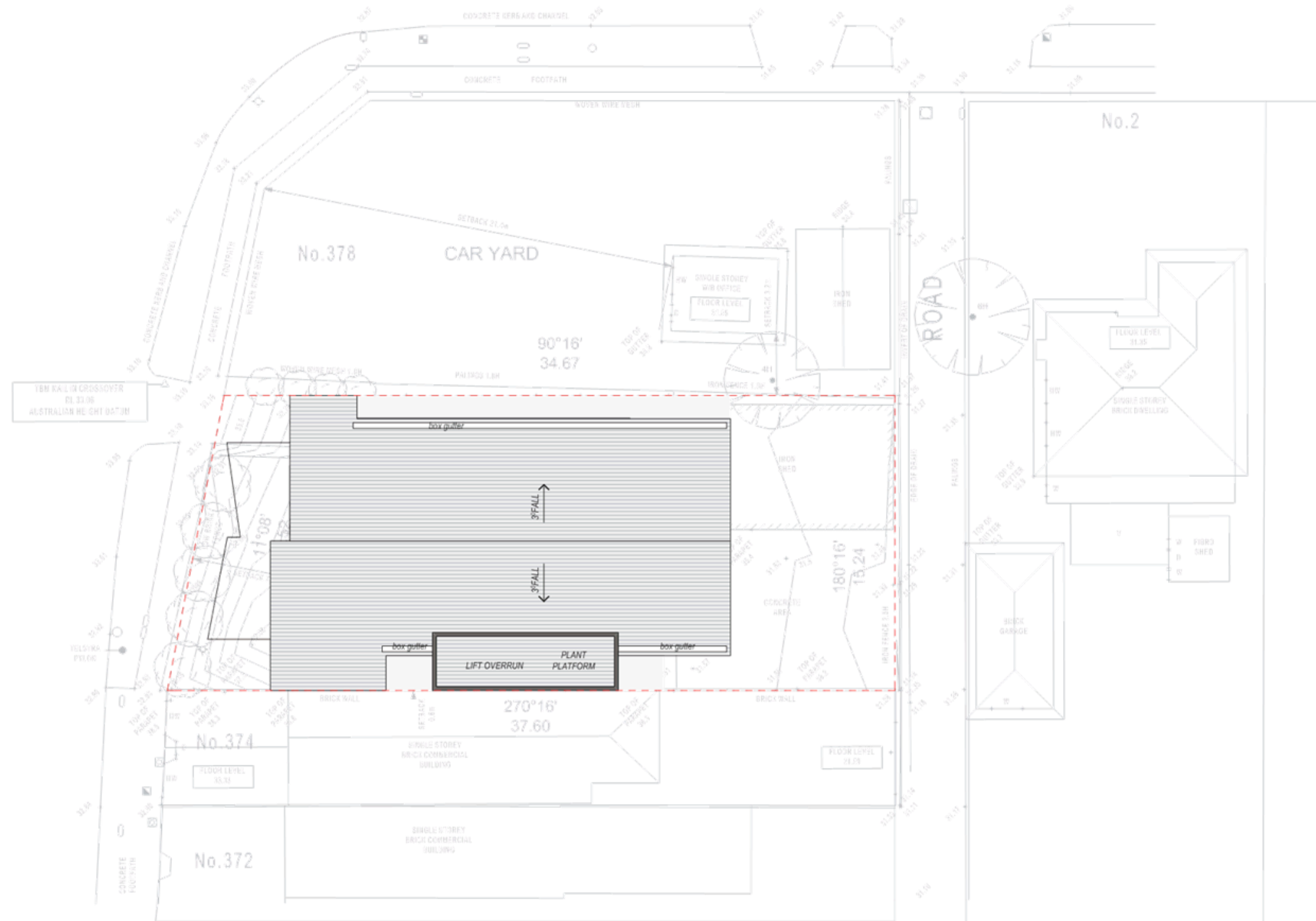
TOWN PLANNING AMENDMENT

LEVEL 4 FLOOR PLAN

201507TP205PD



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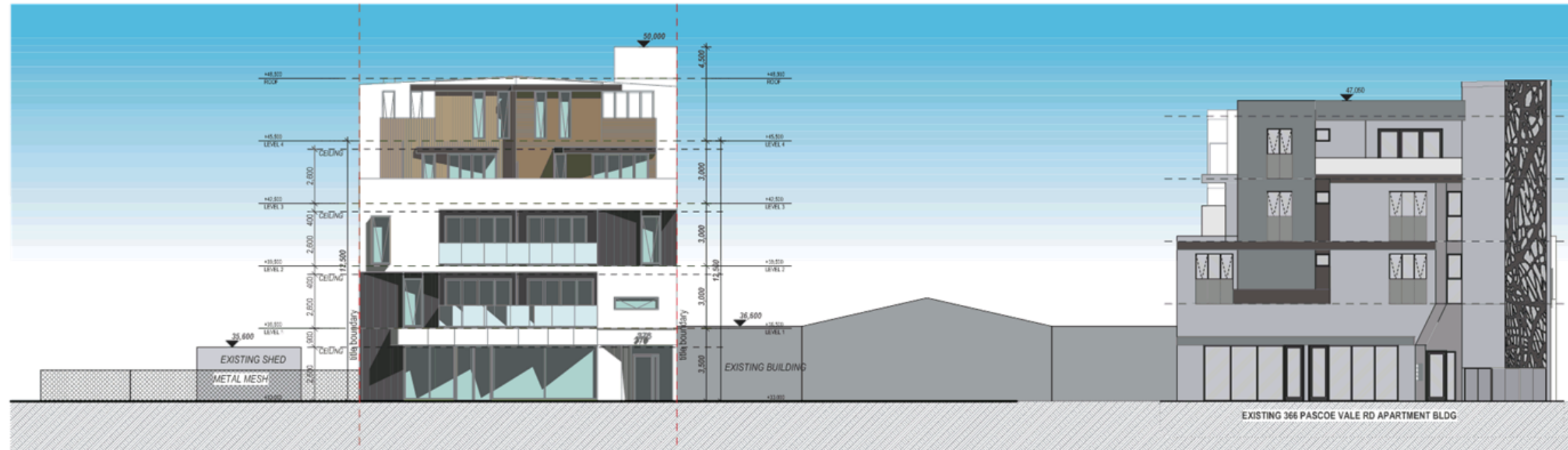
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TOWN PLANNING AMENDMENT

ROOF PLAN

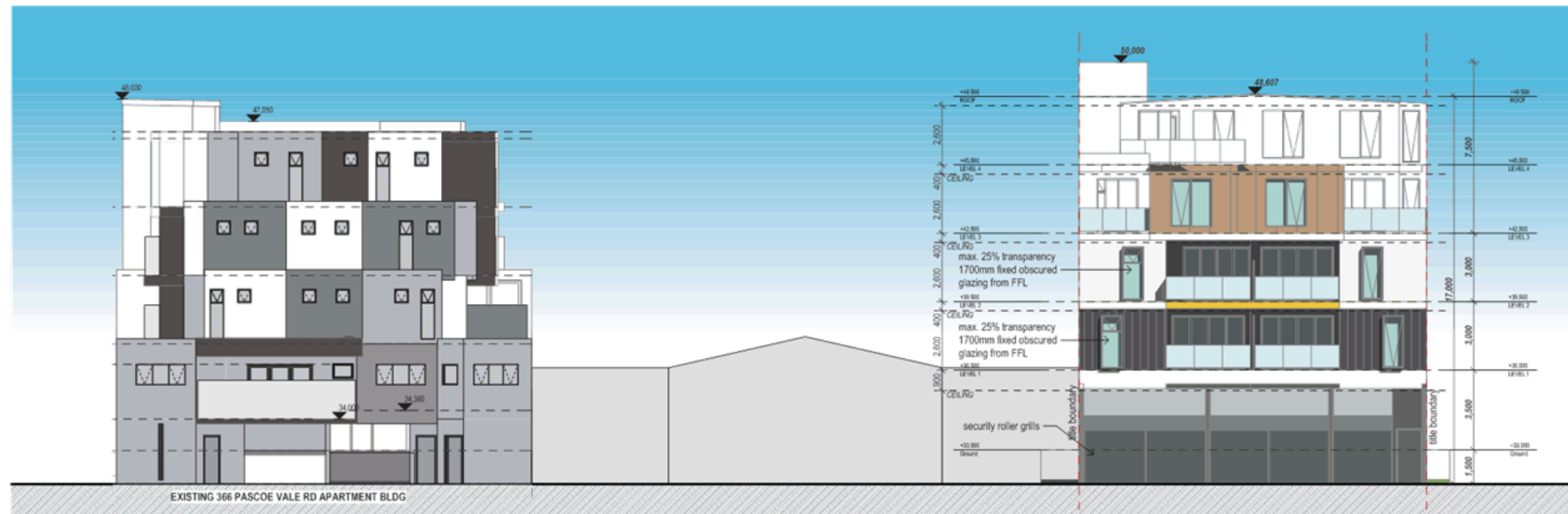
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WEST ELEVATION (STREETSCAPE)

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EAST ELEVATION

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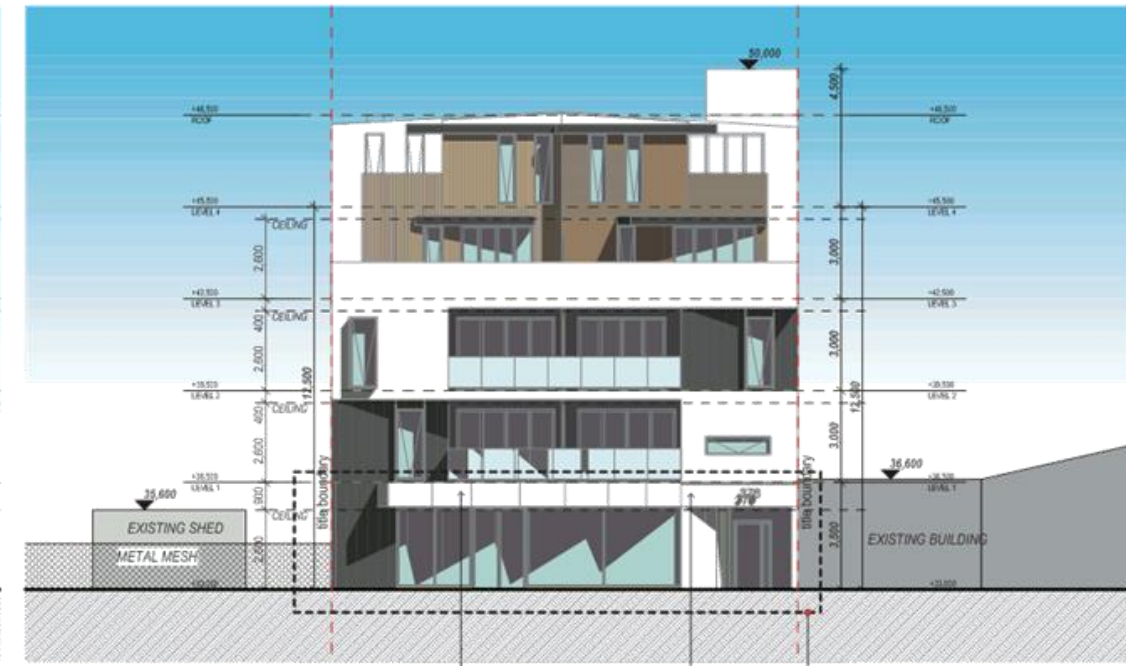
TOWN PLANNING AMENDMENT
STREETSCAPE

201507TP500PD

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NORTH ELEVATION

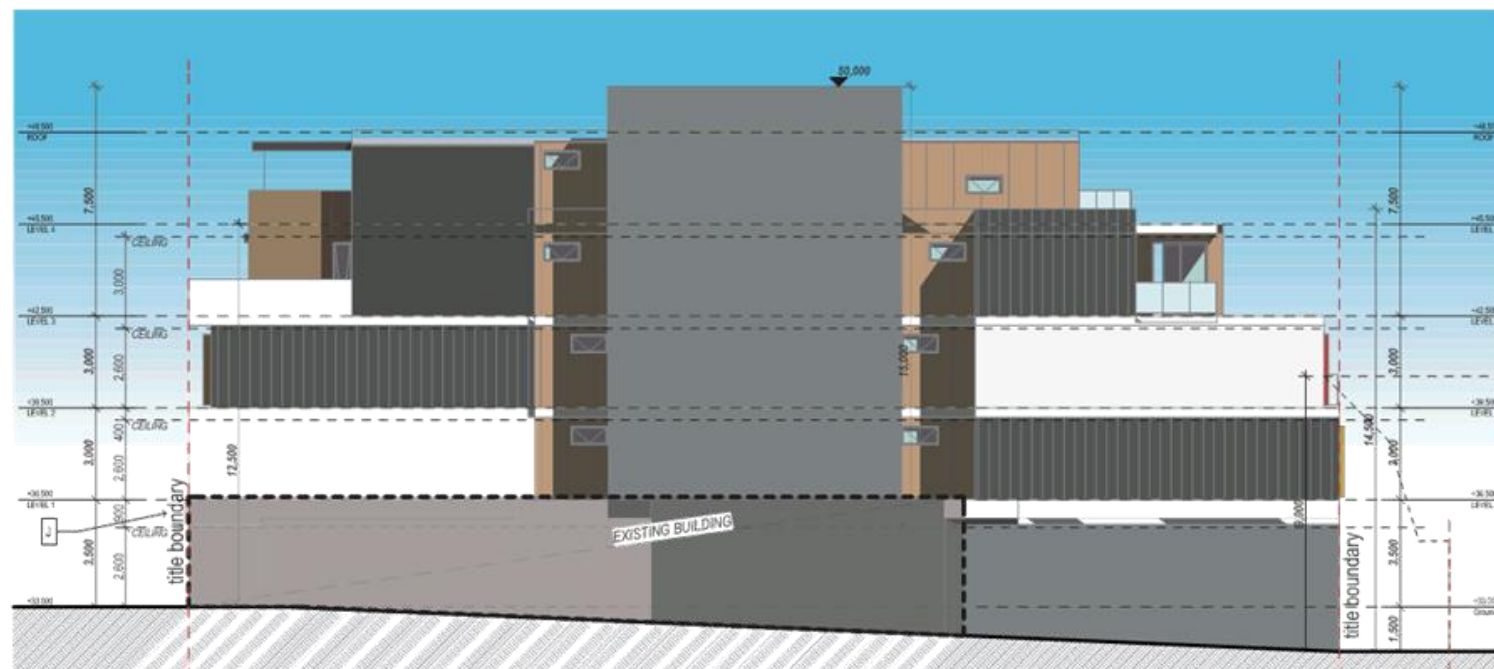


WEST ELEVATION (STREETSCAPE)

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EXT. FINISHES SCHEDULE

- A METAL CLADDING COLOUR DARK GRAY
- B RENDERED FINISH COLOUR WHITE
- C FC SHEET PAINTED FINISH COLOR CREAMY YELLOW
- D PAINTED FINISH SELECTED COLOUR
- E GLASS BALUSTRADE
- F NATURAL CONCRETE FINISH
- G SELECTED COLOUR METAL CLADDING
- H EXOTEC PAINTED FINISH COLOUR GREY
- I FC SHEET PAINTED FINISH SELECTED COLORS



SOUTH ELEVATION



EAST ELEVATION

376 PASCOE VALE ROAD STRATHMORE

TOWN PLANNING AMENDMENT
ELEVATIONS

201507TP501PD

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SECTION A-A



SECTION B-B

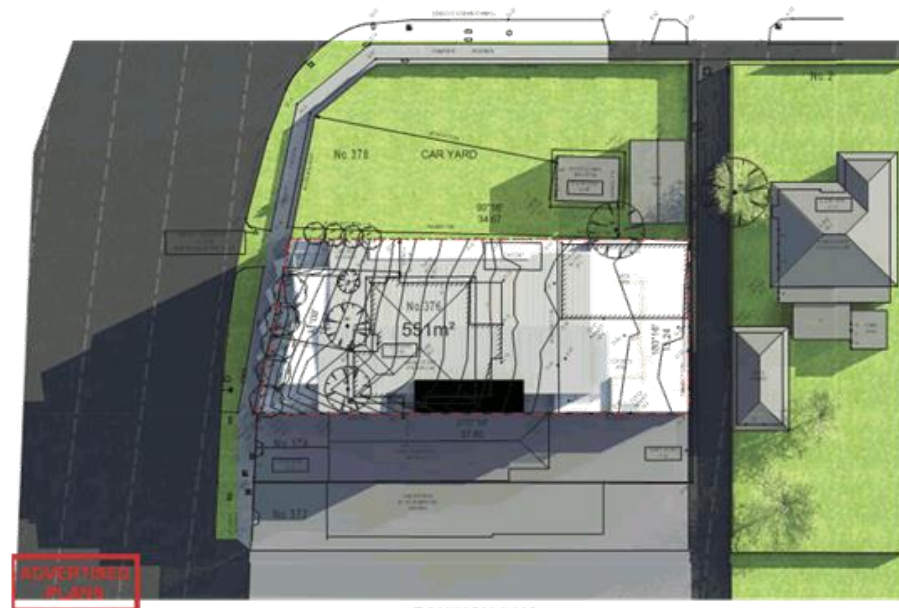
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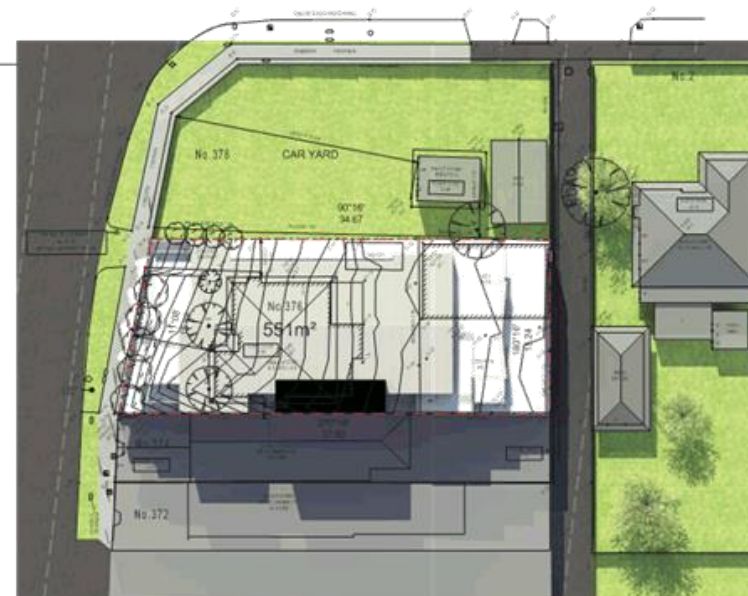
SECTIONS

201507TP502PD

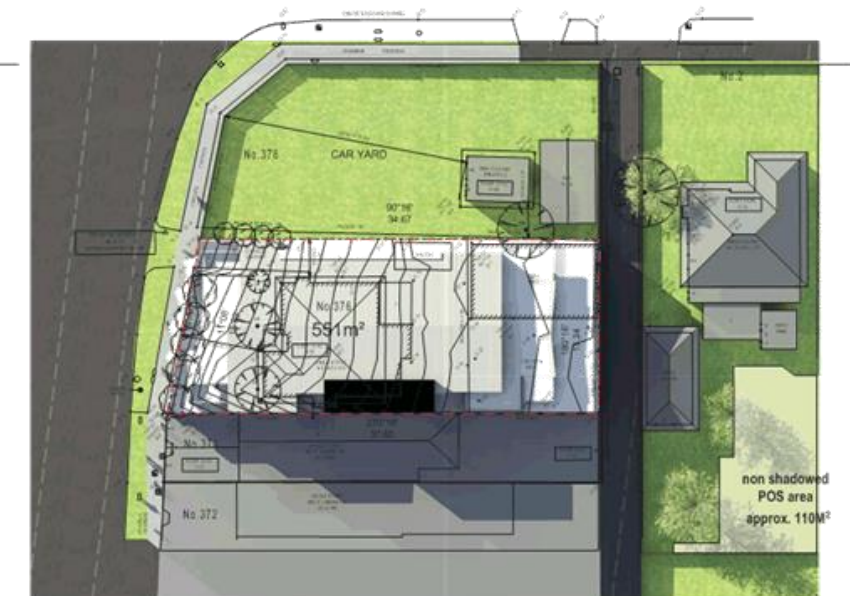




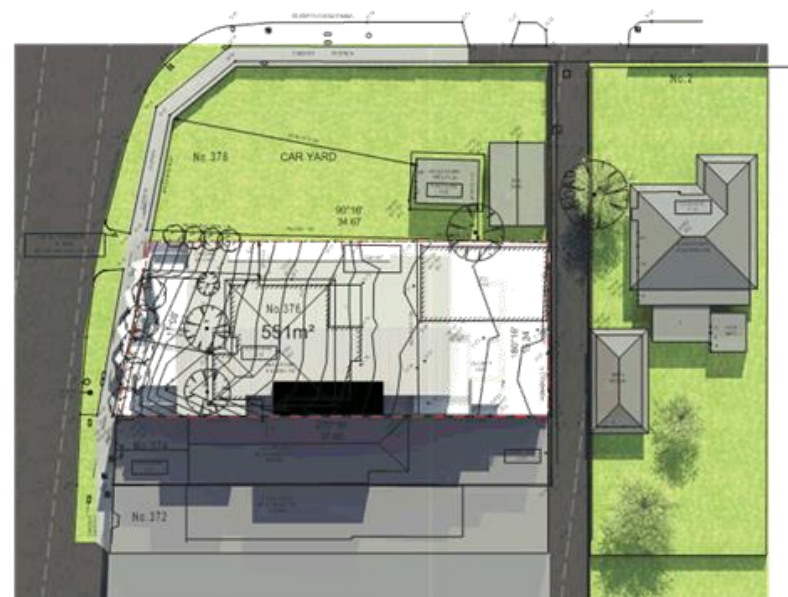
EQUINOX 9AM



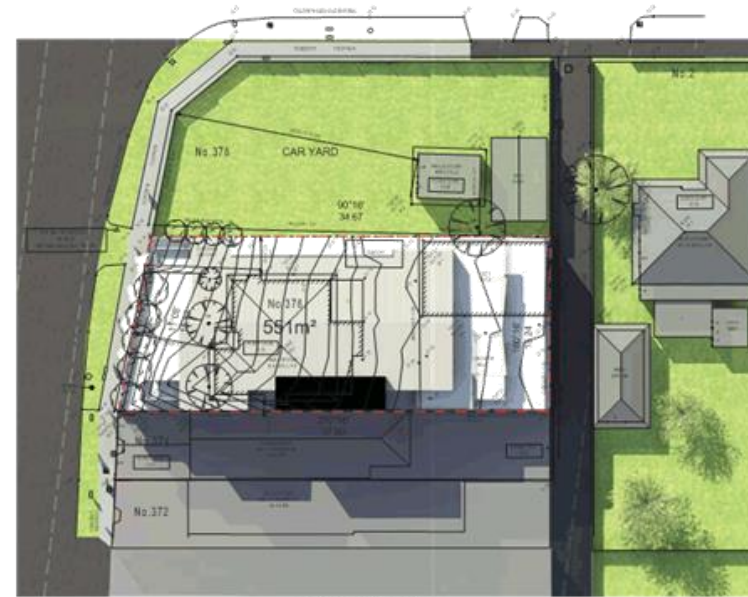
EQUINOX 1 PM



EQUINOX 3 PM



EQUINOX 12PM



EQUINOX 2 PM



376 PASCOE VALE ROAD STRATHMORE

TOWN PLANNING AMENDMENT

SHADOW DIAGRAMS

201507TP801PD





376 PASCOE VALE ROAD STRATHMORE

TOWN PLANNING AMENDMENT
 PERSPECTIVE VIEWS

201507TP901PD





Form 4

Sections 63, 64, 64A and 86

PLANNING PERMIT

Planning No.: MV/1030/2015

Planning scheme: Moonee Valley Planning Scheme

Responsible Authority: Moonee Valley City Council

ADDRESS OF LAND: 376 Pascoe Vale Road, STRATHMORE

THE PERMIT ALLOWS: Use and development of the land for a four storey building comprising a shop and dwellings, reduction to the car parking requirement, waiver of the loading bay requirement and alteration (removal) of access to a road in a Road Zone

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. Before the development starts, amended plans must be submitted to and approved to the satisfaction of the Responsible Authority. The amended plans must be drawn to scale and an electronic copy must be provided. The plans must be generally in accordance with the plans submitted and assessed with the application but modified to show:
 - a) The balconies of Dwellings 3.5 and 3.6 set back at least 1 metre from the northern and southern boundaries respectively, whilst maintaining compliance with Clause 55.05-4 (Private Open Space) of the Moonee Valley Planning Scheme;
 - b) First floor west-facing balconies screened to comply with Clause 55.04-6 (Overlooking) of the Moonee Valley Planning Scheme;
 - c) Internal balcony screening to comply with Clause 55.04-7 (Internal Views) of the Moonee Valley Planning Scheme;
 - d) The provision of double glazing to all habitable room windows to comply with Clause 55.04-8 (Noise) of the Moonee Valley Planning Scheme;
 - e) The provision of six bicycle spaces in accordance with Clause 52.34 (Bicycle Facilities) of the Moonee Valley Planning Scheme;
 - f) The provision of a 300mm trench grate at the bottom of the ramp to the car parking area;

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Date Issued

Signature for the Responsible Authority
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- g) All ground floor walls and structures set back at least 5.5 metres from the eastern boundary of the Right of Way; and
- h) Any changes as a result of Conditions 3, 4 and 7.

Once approved these plans become the endorsed plans of this permit.

- 2. Except with the prior written consent of the Responsible Authority, the layout of the land and the size, design and location of the buildings and works permitted must always accord with the endorsed plan and must not be altered or modified.
- 3. A minimum 30 days prior to any building or works commencing, all Water Sensitive Urban Design (WSUD) Design Details (relating to the WSUD treatment measures nominated in the approved and complying STORM report), such as cross sections and/or specifications, to assess the technical effectiveness of the proposed stormwater treatment measures, must be submitted for approval by the Responsible Authority.
- 4. A minimum 30 days prior to any building or works commencing, a Construction and Site Management Plan (CSMP) must be submitted to and be approved by the Responsible Authority detailing the construction activity proposed and the site and environmental management methods to be used. The plan must include, but is not limited to:
 - a) Hours of construction;
 - b) Parking and traffic movement of all workers vehicles and construction vehicles;
 - c) Scaffolding and hoarding for the site;
 - d) Allocated areas for loading and unloading;
 - e) Site evacuation plan and procedure;
 - f) Occupational health and safety policy;
 - g) Hazard identification and control;
 - h) Environmental management and waste minimisation;
 - i) Management of onsite stormwater and prevention of contamination which must be in the form of a detailed statement or report which outlines all measures to be taken to prevent litter, sediments and pollution from entering the stormwater systems;
 - j) Protection of surrounding roads from site contamination and damage including rumble grid and or wash down bay facility;

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- k) Arrangements for chemical storage;
- l) Noise and vibration control;
- m) Risk assessment;
- n) Works timetable; and
- o) Number of workers expected to work on the site at any one time.

When approved, the CSMP will be endorsed and will form part of this permit.

The development must be carried out in accordance with the endorsed CSMP and the provisions, requirements and recommendations of the endorsed CSMP must be implemented and complied with to the satisfaction of the Responsible Authority.

5. A maximum 30 days following completion of the building or works, a WSUD Maintenance Program must be submitted to and approved by the Responsible Authority which sets out future operational and maintenance arrangements for all WSUD measures. The program must include, but is not limited to:
- a) Inspection frequency;
 - b) Cleanout procedures;
 - c) As installed design details/diagrams including a sketch of how the system operates; and
 - d) A report confirming completion and commissioning of all WSUD Response initiatives by the author of the WSUD Response and STORM or MUSIC model approved pursuant to this permit, or similarly qualified person or company. This report must be to the satisfaction of the Responsible Authority and must confirm that all initiatives specified in the WSUD Response and STORM or MUSIC model have been completed and implemented in accordance with the approved report.

The WSUD Maintenance Program may form part of a broader Maintenance Program that covers other aspects of maintenance such as a Builder's User Guide or a Building Maintenance Guide.

6. Before the development commences, an amended Sustainable Design Assessment (SDA) that outlines proposed design initiatives must be submitted to and approved by the Responsible Authority. The amended SDA shall refer to the endorsed plans. Upon approval the SDA will be endorsed as part of this planning permit and the development must incorporate the sustainable design initiatives outlined in the endorsed SDA to the satisfaction of the Responsible Authority. The SDA must be generally in accordance with the SDA submitted with the application, but modified to include:

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- a) Any changes as a result of Condition 1.

The development must incorporate the sustainable design initiatives outlined in the endorsed Sustainable Design Assessment (SDA) to the satisfaction of the Responsible Authority.

7. Prior to the issue of an Occupancy Permit, all boundary walls must be cleaned and finished to the satisfaction of the Responsible Authority.
8. Floor levels shown on the endorsed plan(s) must not be altered or modified without written consent of the Responsible Authority.
9. Service units, including air conditioning units, must not be located on any of the balconies or terrace areas unless appropriately visually and acoustically screened to the satisfaction of the Responsible Authority.
10. Before the building approved by this permit is occupied, the privacy screens and other measures to prevent overlooking as shown on the endorsed plans must be installed in accordance with Clause 55.04-6 (Overlooking) of the Moonee Valley Planning Scheme to the satisfaction of the Responsible Authority.

All privacy screens and other measures to prevent overlooking as shown on the endorsed plans must at all times be maintained to the satisfaction of the Responsible Authority.

11. All pipes, fixtures, fittings, ducts and vents servicing any building on the land, other than storm water down pipes and gutters above the ground floor storey of the building, must be concealed in service ducts or otherwise hidden from view to the satisfaction of the Responsible Authority.
12. Before the building approved by this permit is occupied, the areas set aside for the parking of vehicles, together with the associated driveways and access lanes as shown on the endorsed plans must be:
 - a) Constructed;
 - b) Available for use in accordance with the endorsed plans;
 - c) Properly formed to such levels and drained so that they can be used in accordance with the endorsed plans;
 - d) Finished with a permanent trafficable surface (such as concrete, asphalt or paving); and
 - e) line-marked or provided with another adequate means of ensuring that the boundaries of all vehicle spaces are clearly indicated on the ground,

in accordance with the endorsed plans to the satisfaction of the Responsible Authority.

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The area set aside for the parking of vehicles, together with the associated driveways and access lanes as shown on the endorsed plans must:

f) Be maintained and made available for such use; and

g) Not be used for any other purpose,

to the satisfaction of the Responsible Authority.

13. Before the development starts, a Car Parking Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The Car Parking Management Plan must be prepared by a traffic consultant with suitable qualifications to the satisfaction of the Responsible Authority and must include:

a) details as to how the car stackers are to be regularly maintained and serviced;

b) details of time frames and measures to be undertaken, to reinstate the car stackers back to working order, if the car stackers becoming non-operational; and

c) details of measures to be undertaken if the car stackers are not operational, so not to provide any additional on-street parking demand.

When approved, the Car Parking Management Plan will be endorsed and will form part of this permit. The provisions, recommendations and requirements of the endorsed Car Parking Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

14. Bicycle parking spaces, access, lockers and compounds must be provided, maintained and kept available for these purposes at all times to the satisfaction of the Responsible Authority.

15. Provision must be made for the drainage of the land, including pavement areas. The discharge of water from the land must be controlled around its limits to prevent any discharge onto any adjoining or adjacent property or streets other than by means of an underground pipe drain which is discharged to an approved legal point of discharge to the satisfaction of the Responsible Authority.

16. An on-site stormwater detention drainage system must be installed on the subject land to the satisfaction of the Responsible Authority. Prior to the commencement of building and works a drainage layout plan, together with computations and manufacturers specifications, must be prepared by a suitably qualified Civil Engineer and submitted to and approved by the Responsible Authority. Once approved by the Responsible Authority the plan must be carried out to the satisfaction of the Responsible Authority.

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Signature for the Responsible Authority
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17. The plant and equipment on the roof of the building must be screened in a manner to complement the appearance of the building and be to the satisfaction of the Responsible Authority.
18. The development must be provided with external lighting capable of illuminating access to each entrance, each car parking space and pedestrian walkways. All car parking facilities are to be well lit in accordance with AS1680.2.1:2008. Lighting must be located, directed and shielded and of limited intensity so that no nuisance or loss of amenity is caused to any person within or beyond the land.
19. All security alarms or similar devices installed on the land must not emit any noise which is audible beyond the boundary of the land and must be designed in accordance with the relevant Australian Standard and must be connected to a security monitoring service.
20. The amenity of the area must not be detrimentally affected by the use of land, through:
 - a) Transportation of materials, goods or commodities to or from the land;
 - b) Appearance of any building, works or materials;
 - c) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot ash, dust, waste water, waste products, grit or oil;
 - d) Presence of vermin; and
 - e) Or in any other way,to the satisfaction of the Responsible Authority.
21. Before the development starts, an amended Waste Management Plan, must be submitted to and approved by the Responsible Authority. The Waste Management Plan must be generally in accordance with the plan prepared by One Mile Grid Pty Ltd dated 22 March 2016, and must accord with Moonee Valley Council's 'Waste Management Plans – Guidelines for Applicants'.

When approved, the Waste Management Plan will be endorsed and will form part of this permit. The provisions, recommendations and requirements of the endorsed Waste Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

VicRoads Condition

22. All disused or redundant vehicle crossings must be removed and the area reinstated to kerb and channel to the satisfaction of and at no cost to the Roads Corporation prior to the commencement of the occupation of the buildings hereby approved.

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Signature for the Responsible Authority
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A handwritten signature in black ink, appearing to be a stylized cursive script, positioned over the signature line.



End VicRoads Condition

23. The on-site car spaces and storage cages must not be subdivided, leased or sold separately to external parties that are not prime lot owners or tenants of the building or development.

24. This permit will expire if:

- a) the development does not start within two (2) years of the date of issue of this permit, or
- b) The development is not completed and the use is not commenced within four (4) years of the date of issue of this permit.

Before the permit expires or within six (6) months afterwards the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date.

Once the development has commenced the owner or occupier of the land may in writing request the Responsible Authority to extend the expiry date within twelve (12) months of the lapse date.

Permit Notes:

- *This is not a building permit under the Building Act. A separate building permit is required to be obtained for any demolition or building works.*
- *Before commencement of the development occurs, the applicant should contact Moonee Valley City Council regarding legal point of discharge, new crossings, building over easements, etc.*
- *No on-street parking permits will be provided to occupiers of the subject site.*
- *It is recommended the required on-site detention system be designed to limit the rate of stormwater discharge from the property to pre-development levels in accordance with the following calculation; $C=0.4$, $t_c=5\text{mins}$, ARI 1 in 5. An ARI of 1 in 10 should be used for storage and the greater of post development C or $C=0.80$.*
- *All drainage works undertaken must be in accordance with the requirements of Stormwater Drainage Requirements for Development Works as prepared by Moonee Valley City Council.*
- *All works undertaken within any existing road reserves must accord with the requirements of Moonee Valley City Council and be to the satisfaction of the Responsible Authority.*

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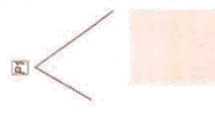
Signature for the Responsible Authority
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- *Existing levels along the property line must be maintained. All proposed levels must match to existing surface levels along the property boundary. Council will not accept any modifications to existing levels within any road reserve.*
- *This permit does not authorise any advertising signs except those which are exempted by the Moonee Valley Planning Scheme.*
- *The proposed development requires the reinstatement of disused crossovers to kerb and channel. Separate approval under the Road Management Act for this activity may be required from VicRoads (the Roads Corporation). Please contact VicRoads prior to commencing any works.*
- *In the event that car parking spaces or storage cages are separately titled, a condition will be imposed on any future subdivision permit requiring the permit holder to enter into a Section 173 Agreement to ensure the on-site car spaces and storage cages must not be subdivided, leased or sold separately to external parties that are not prime lot owners or tenants of the building or the development.*

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Date Issued

Signature for the Responsible Authority
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Development Summary

Ground	Available	Car Park Provision	Storage
Shop 1	50m ²	3	
Level 1			
Apd 1.1	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 1.2	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 1.3	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 1.4	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 1.5	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 1.6	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Level 2			
Apd 2.1	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 2.2	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 2.3	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 2.4	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 2.5	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 2.6	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Level 3			
Apd 3.1	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 3.2	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 3.3	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 3.4	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 3.5	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)
Apd 3.6	60m ² / 2.0m ²	1	G (Apexes 2.4m ²)



PLANNING DOCUMENT
18 AUG 2016
DATE REVISION
MOONEE VALLEY CITY COUNCIL

TOWN PLANNING APPLICATION
201507TP201P
GROUND FLOOR PLAN
XY FUTURE PTY. LTD

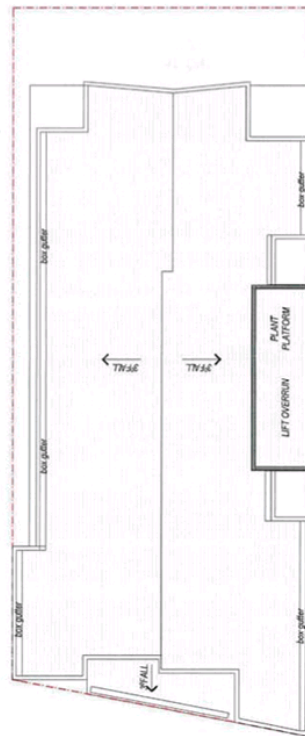
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STRATHMORE VIC 3042
376 PASCOE VALE ROAD STRATHMORE VIC 3042



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TOWN PLANNING APPLICATION
LEVEL 3 FLOOR PLAN

201507TP204P XY FUTURE
PTY. LTD.



PLANNING DEPARTMENT

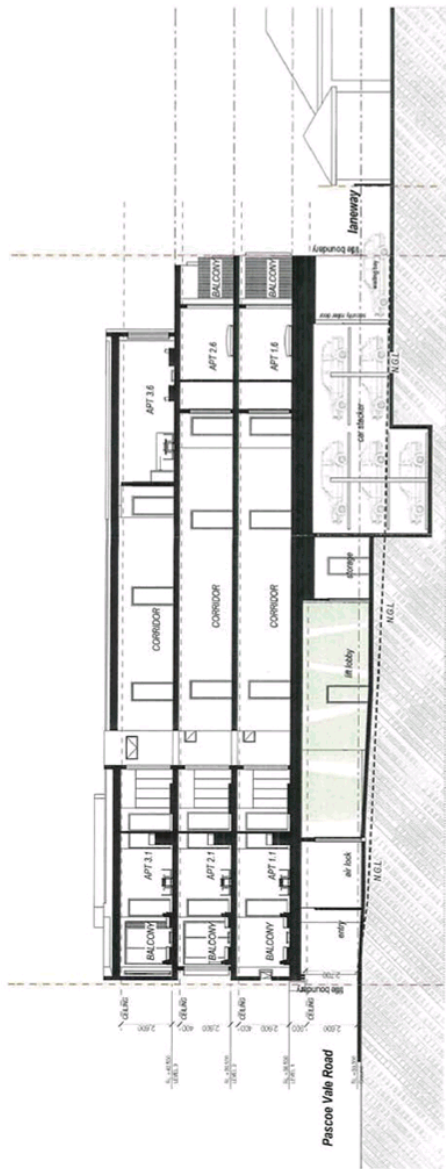
18 AUG 2016

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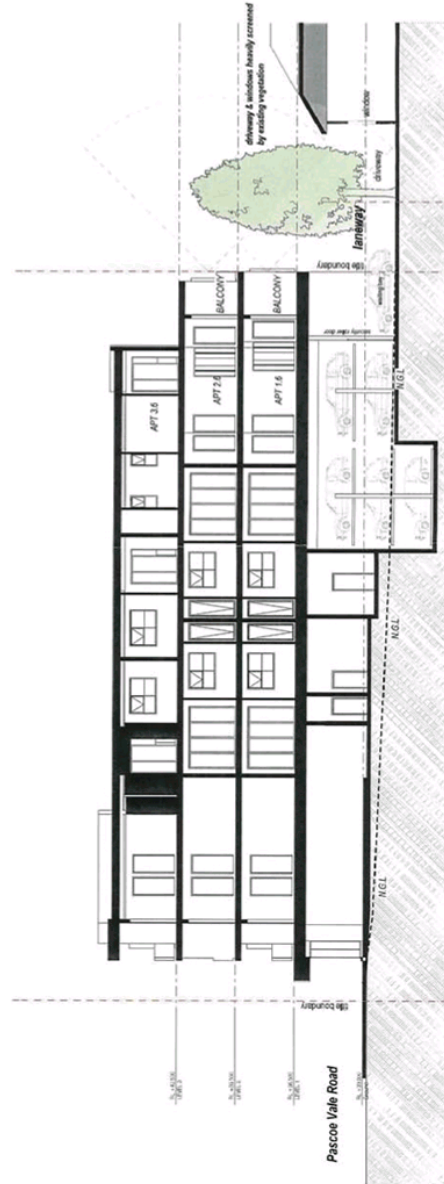
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STRAITHMORE, VIC 3046
376 PASCOE VALE ROAD STRATHMORE
STRAITHMORE, VIC 3046

TOWN PLANNING APPLICATION 201507TP06P XY FUTURE
PTV, LTD

ROOF PLAN



SECTION A-A



SECTION B-B

PLANNING DEPARTMENT

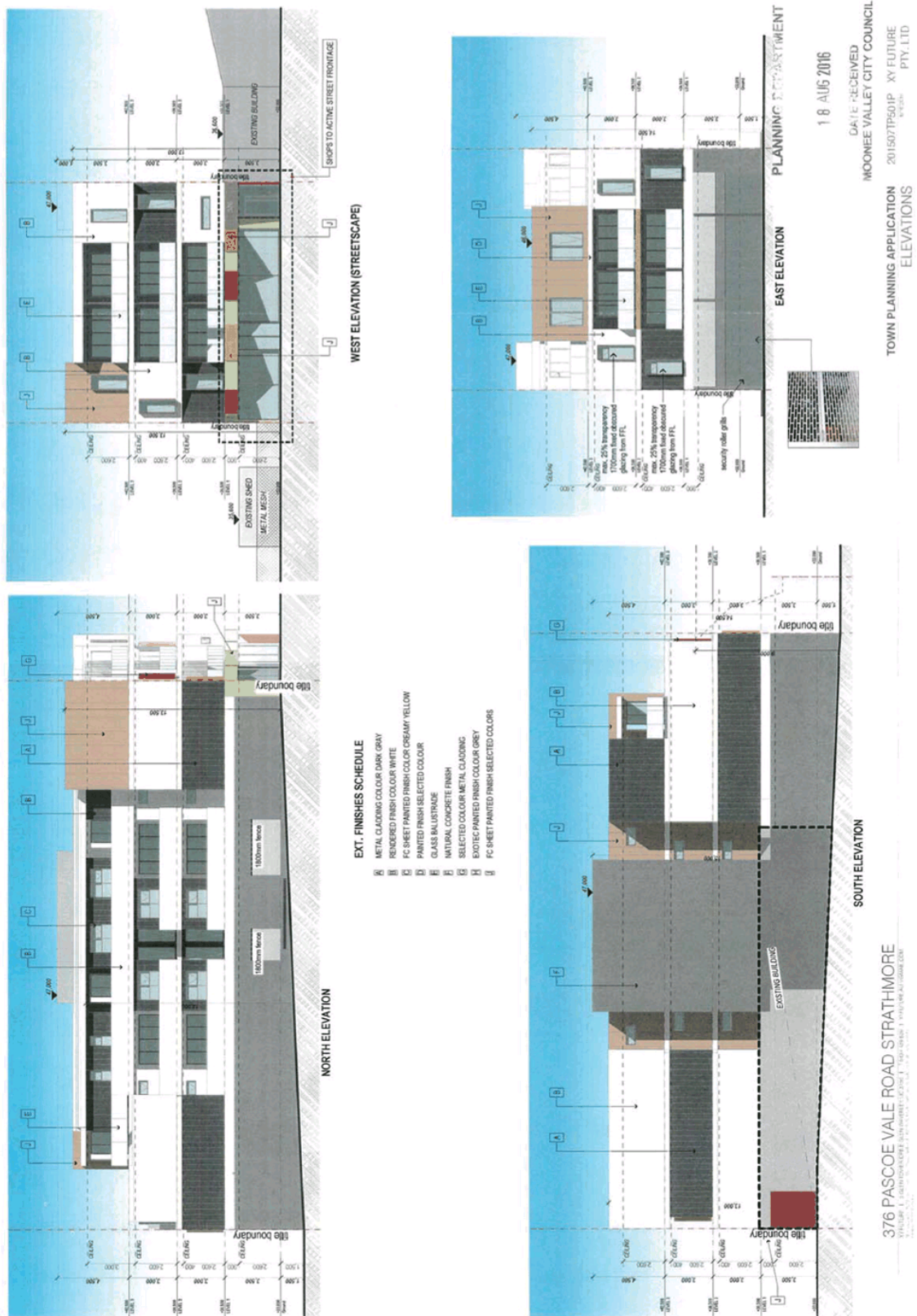
18 AUG 2016

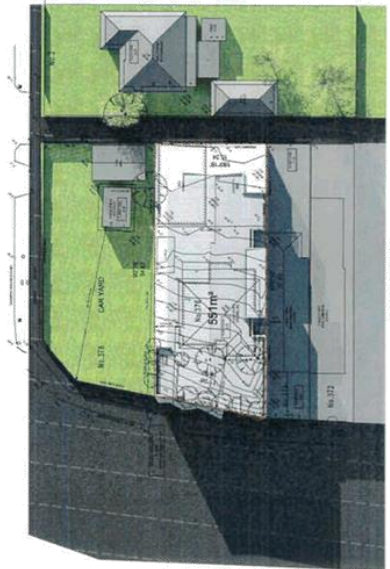
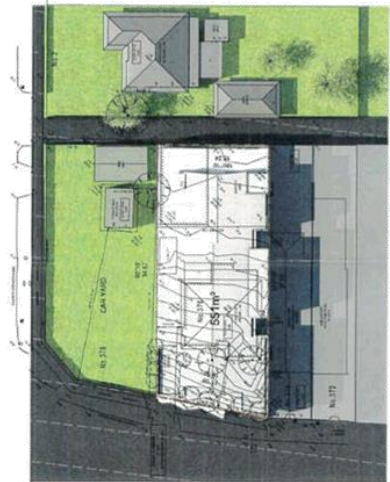
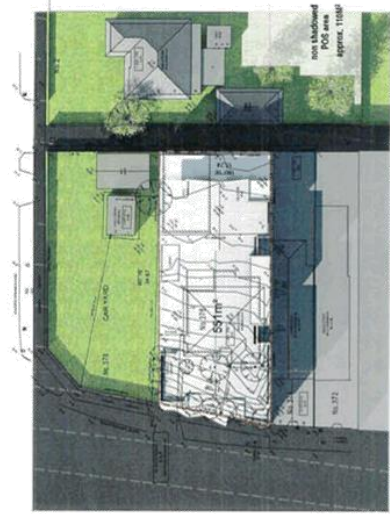
DATE RECEIVED
 MOONEE VALLEY COUNCIL

376 PASCOE VALE ROAD STRATHMORE
 VARIATION 1 - ADMINISTERING MUNICIPAL SECTION 8 - TOWN PLANNING ACT 1979 (AM 2014) (2014-2015)

TOWN PLANNING APPLICATION
 SECTIONS

201507TP502P XY FUTURE
 PTY. LTD





PLANNING DEPARTMENT

18 AUG 2016

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TOWN PLANNING APPLICATION 201507P001P XY FUTURE
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 VERIFIED & SUBMITTED BY: SHARON KETTER 17/08/16 1:24 PM
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