

40 HALL STREET & 34-36 MARGARET STREET MOONEE PONDS

TOWN PLANNING SUBMISSION DRAWINGS

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REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE
Cover Page

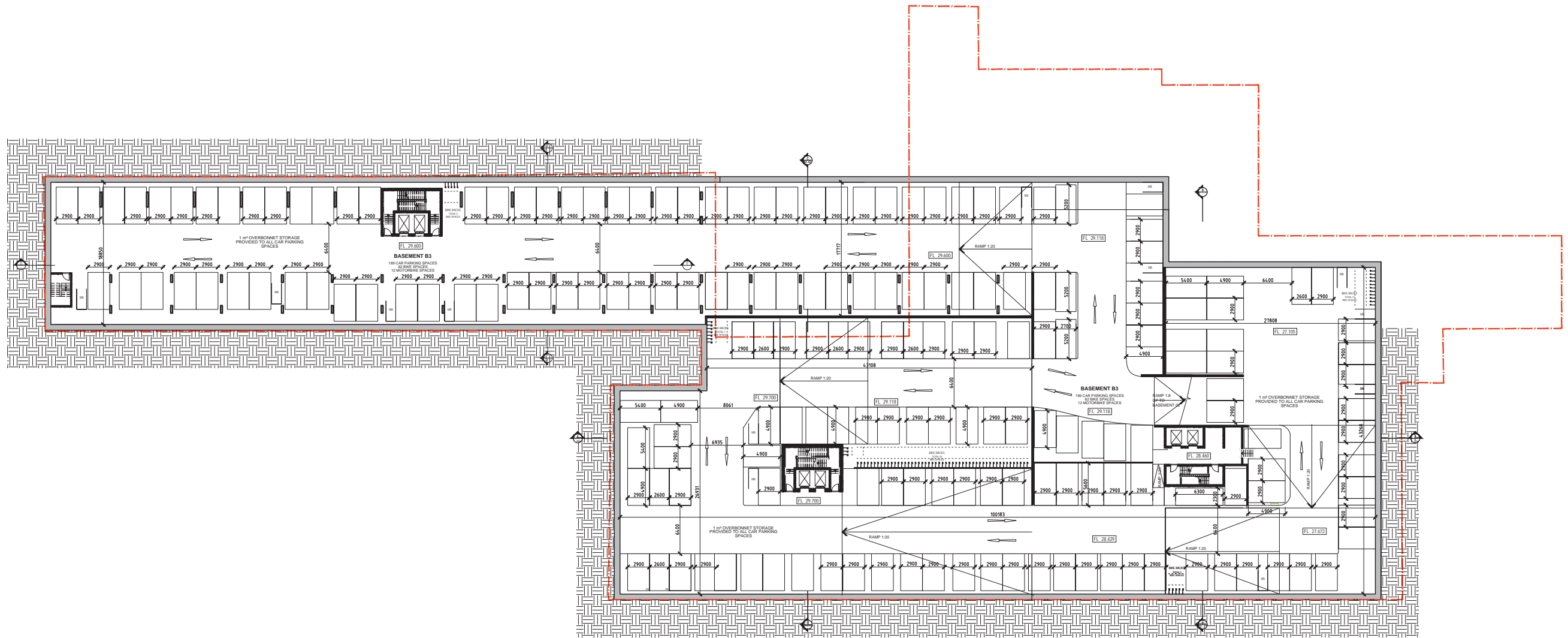
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PROJECT NO. 244	PROJECT 40 Hall St & 34 - 36 Margaret St Moonee Ponds, 3039
REVISION / DRAWING NUMBER Town Planning	TP- 000

NOT TO SCALE
@A1

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001 BASEMENT LEVEL 3 KEY PLAN
SCALE: 1:300 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

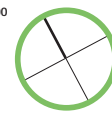
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DRAWING TITLE
Basement Level 3 Key Plan

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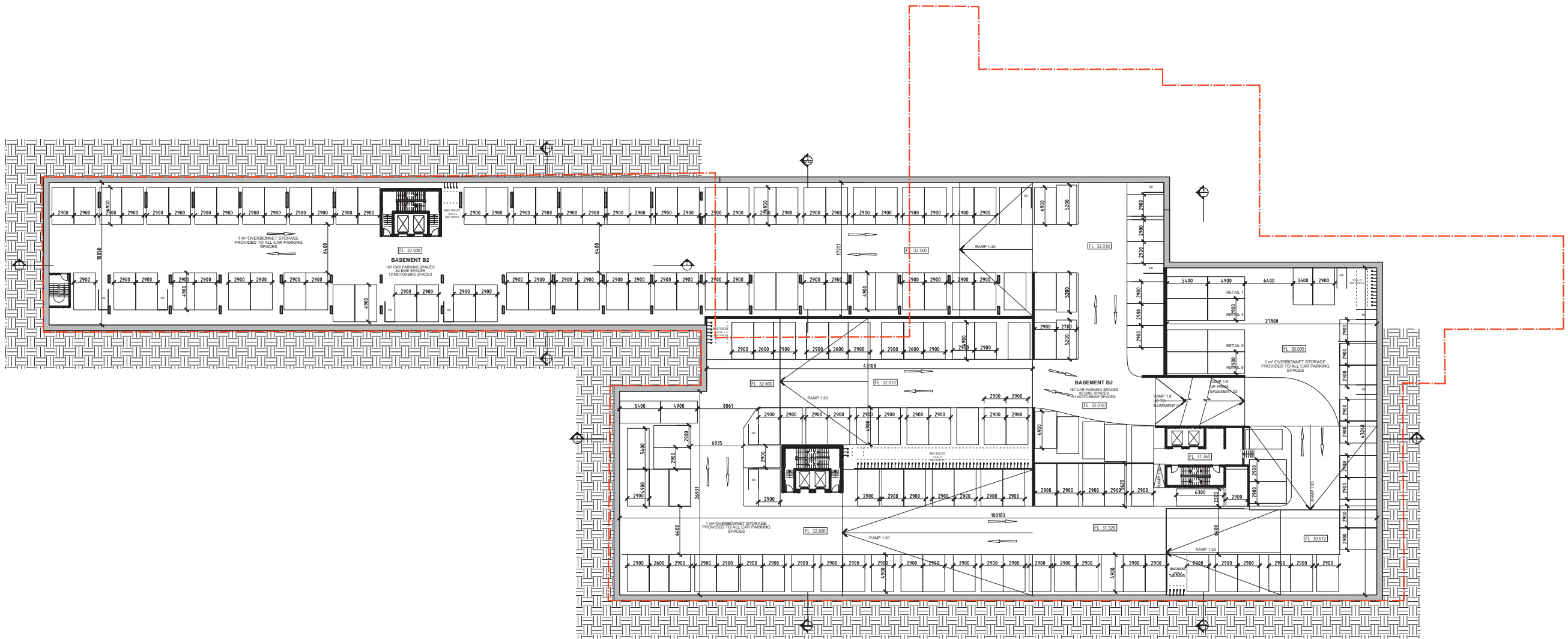
PROJECT NO. 244	PROJECT 40 Hall St & 34 - 36 Margaret St Moonee Ponds, 3039
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SCALE: 1:300
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002 BASEMENT LEVEL 2 KEY PLAN
SCALE: 1:300 @A1

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DRAWING TITLE
Basement Level 2 Key Plan

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PROJECT
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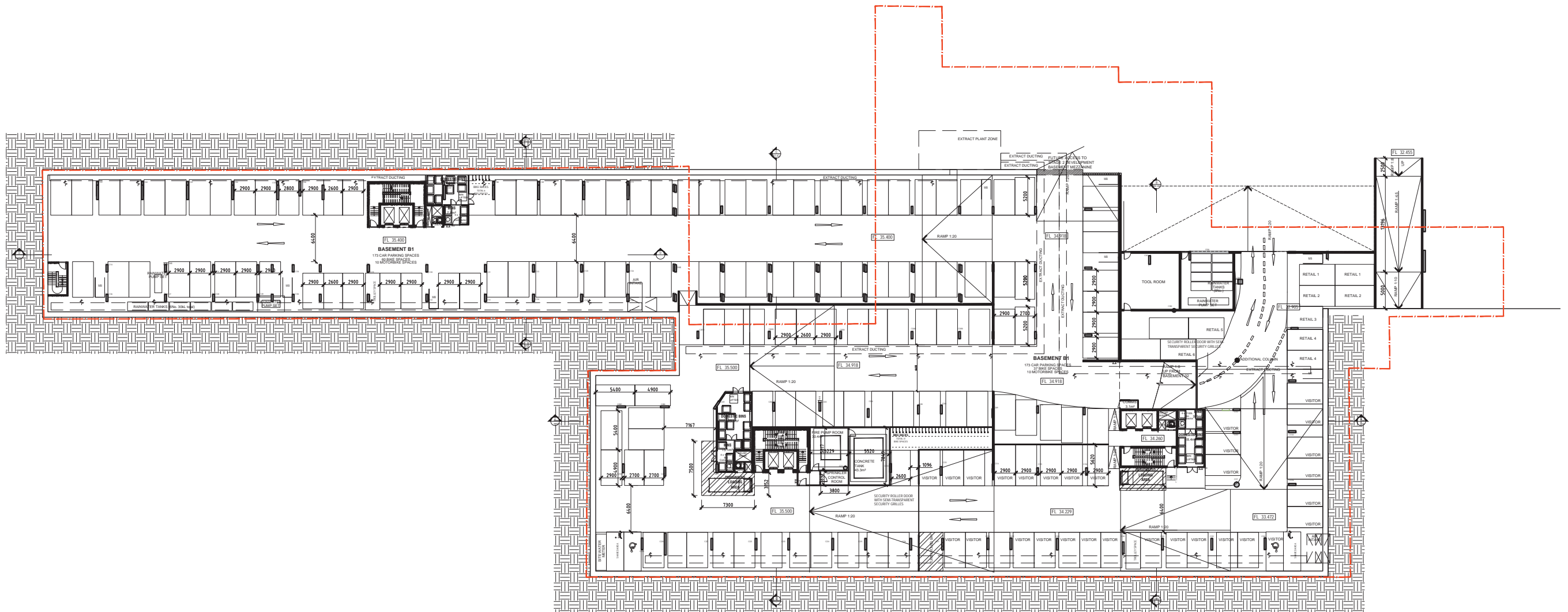
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003 BASEMENT LEVEL 1 KEY PLAN
SCALE: 1:300 @A1

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DRAWING TITLE
Basement Level 1 Key Plan

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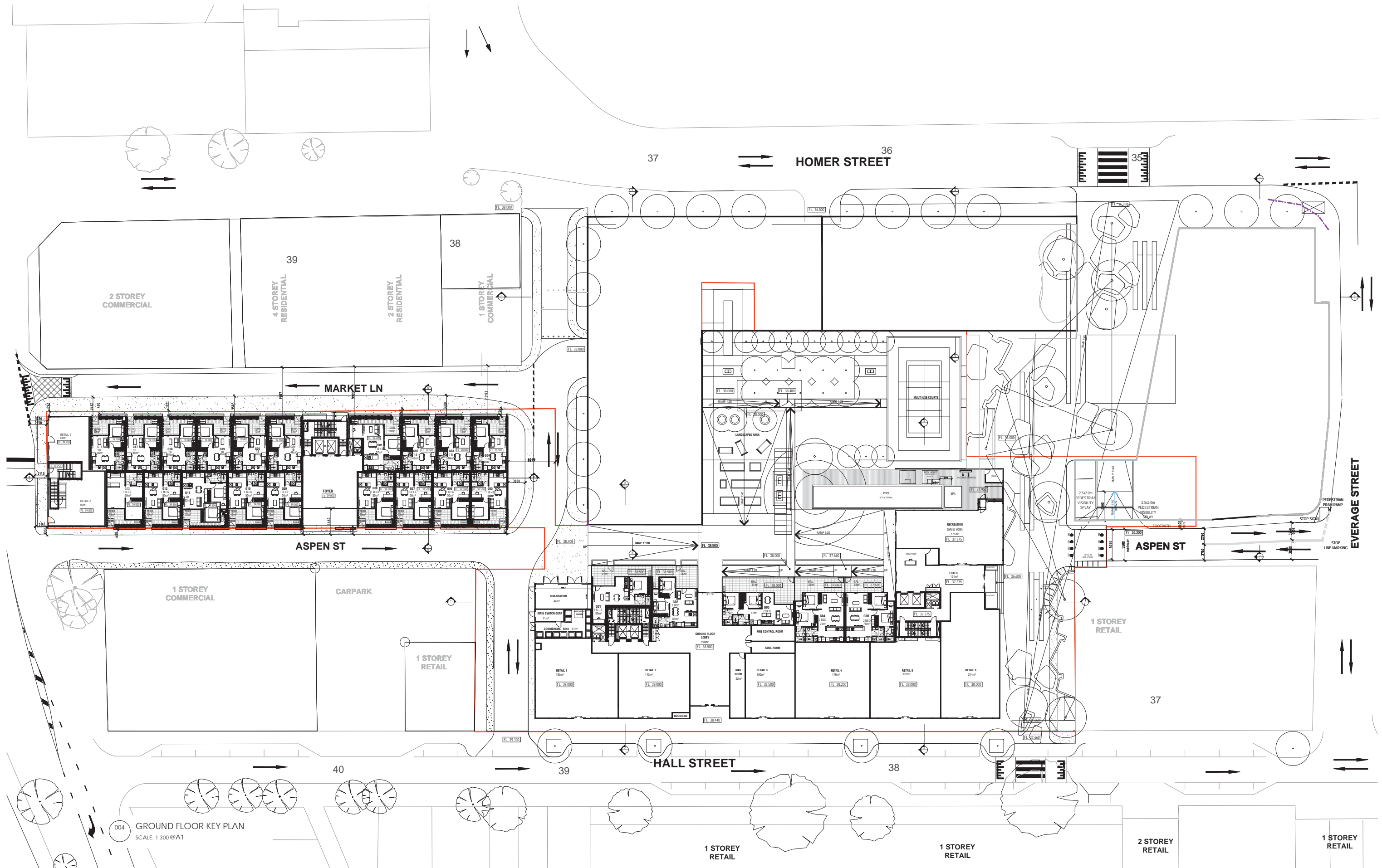
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DRAWING TITLE
Ground Floor Key Plan

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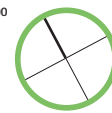
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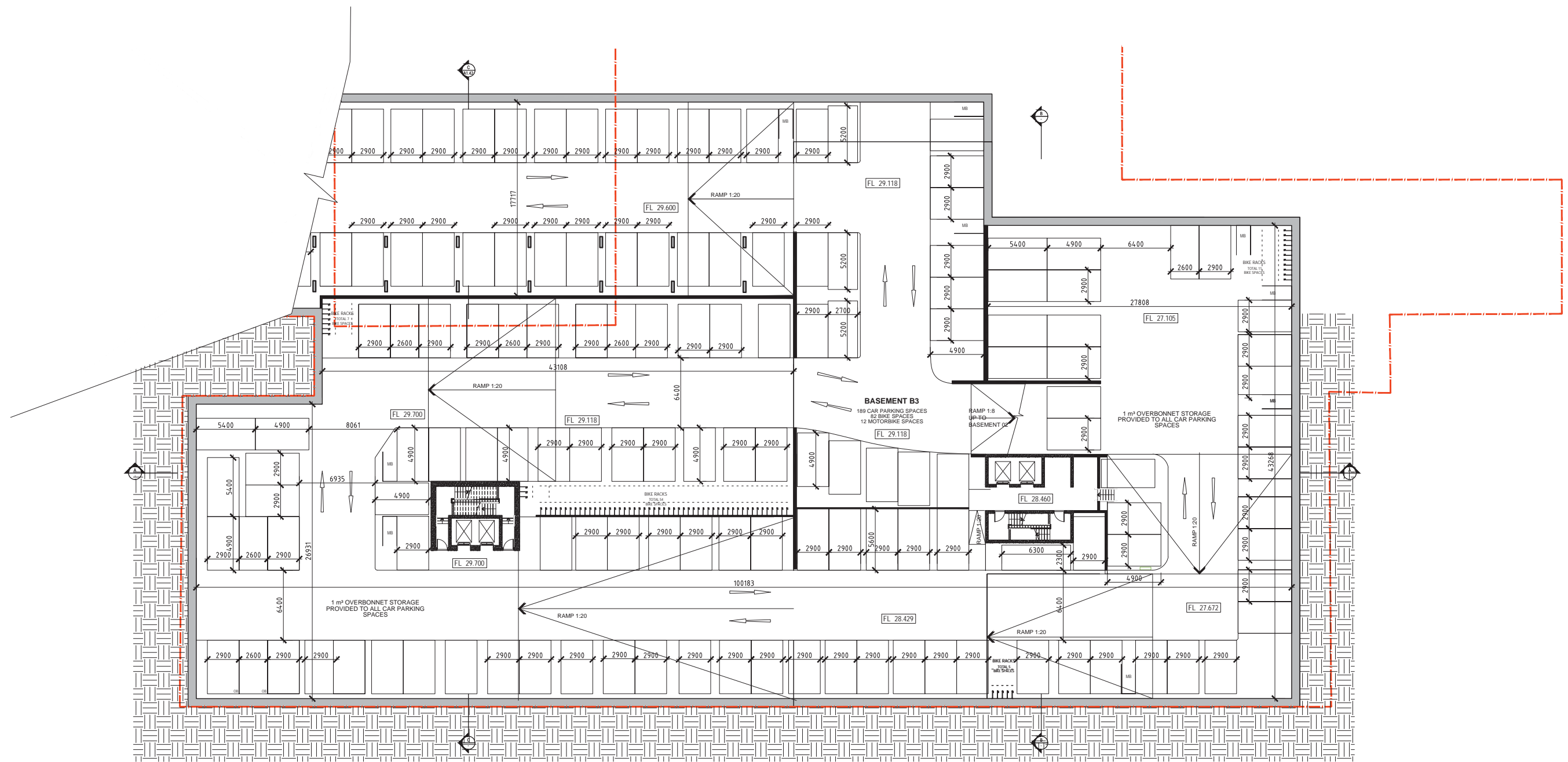
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101 BASEMENT LEVEL 3 PLAN
SCALE: 1:200 @A1

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Basement Level 3 Plan

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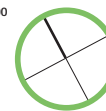
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Town Planning

PROJECT
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TP- 101

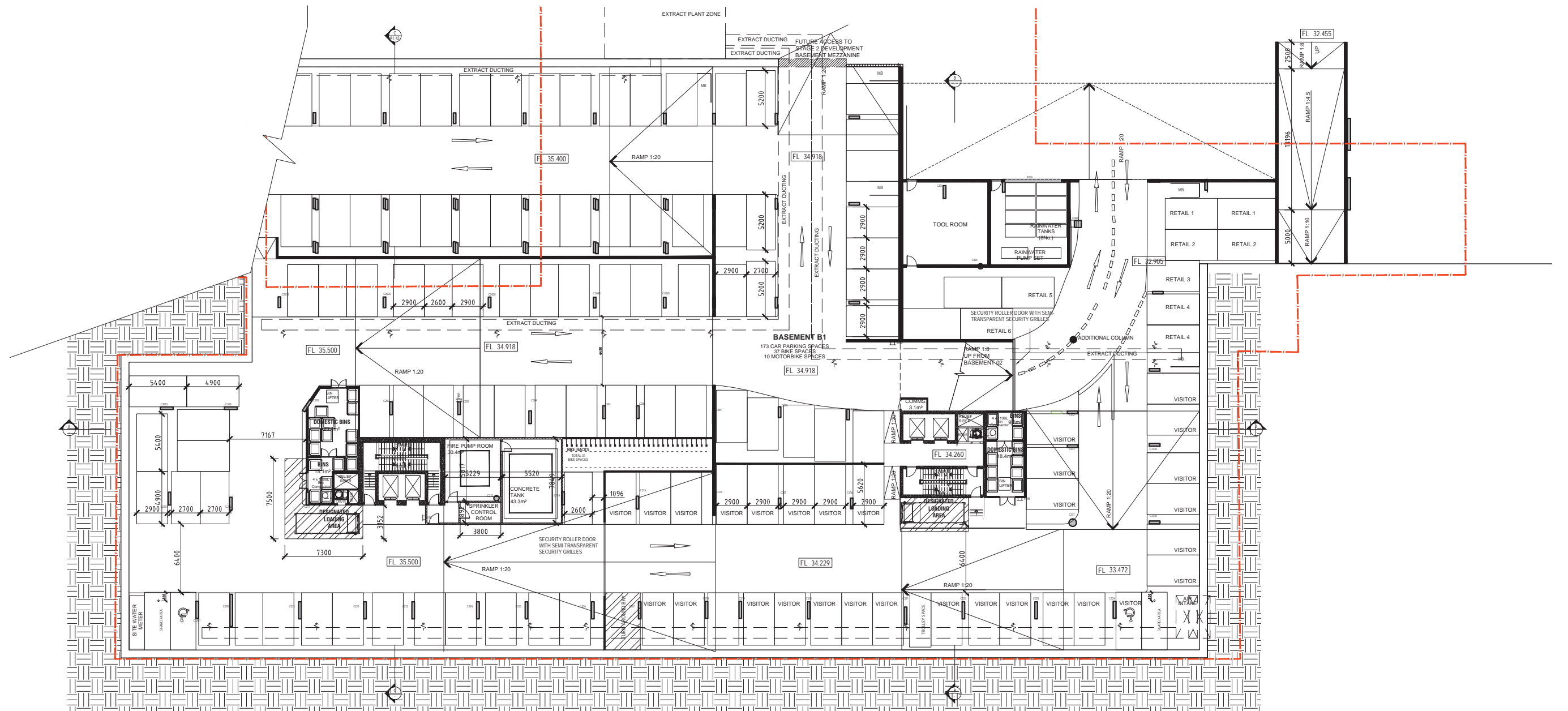
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103 BASEMENT LEVEL 1 PLAN
SCALE: 1:200 @A1

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Basement Level 1 Plan

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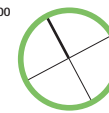
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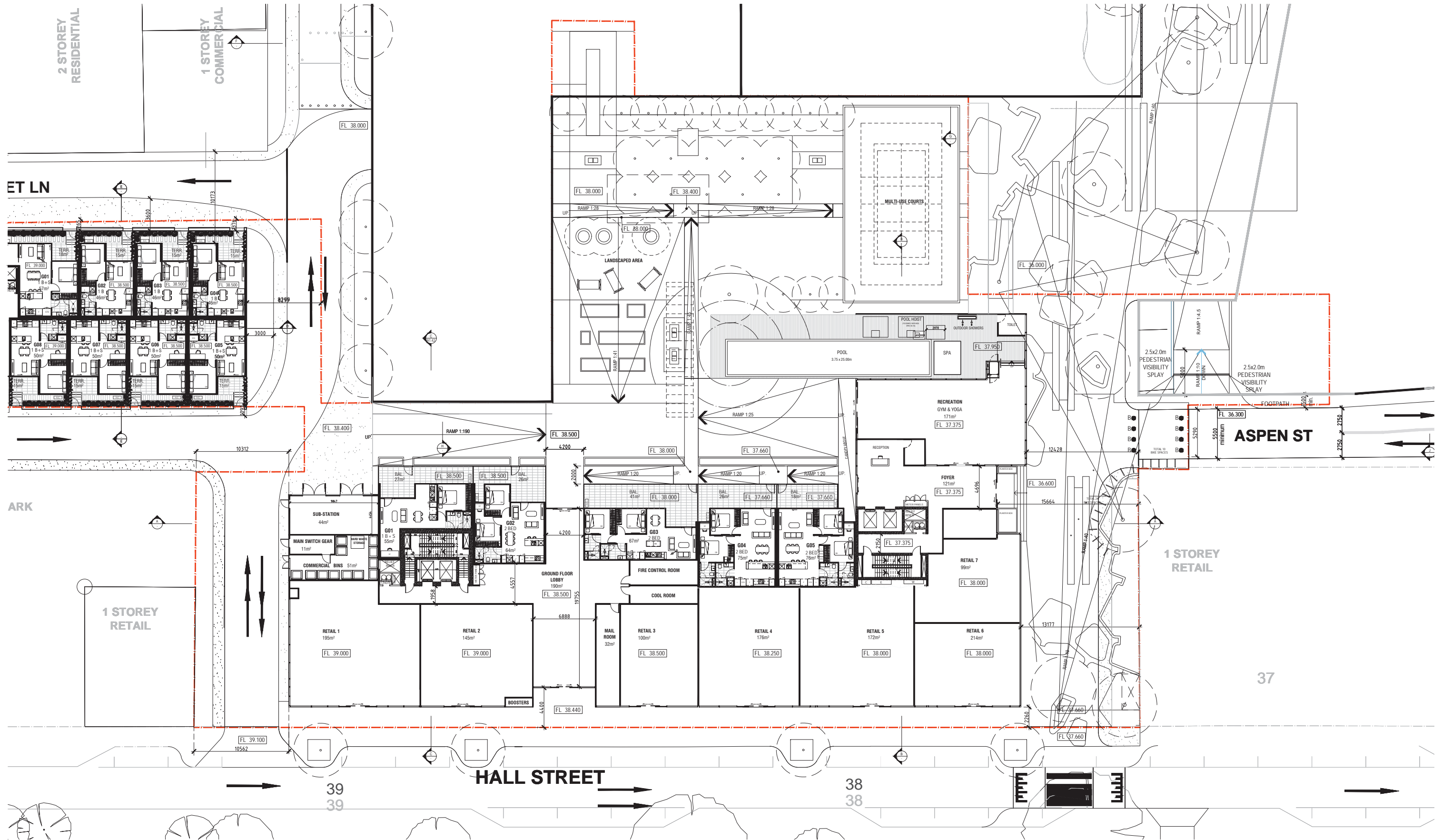
TP- 103

SCALE: 1:200
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104 GROUND FLOOR PLAN
SCALE: 1:200 @A1

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Ground Floor Plan

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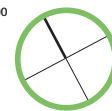
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SCALE: 1:200
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105 MEZZANINE FLOOR PLAN
SCALE: 1:200 @A1

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Mezzanine Floor Plan		
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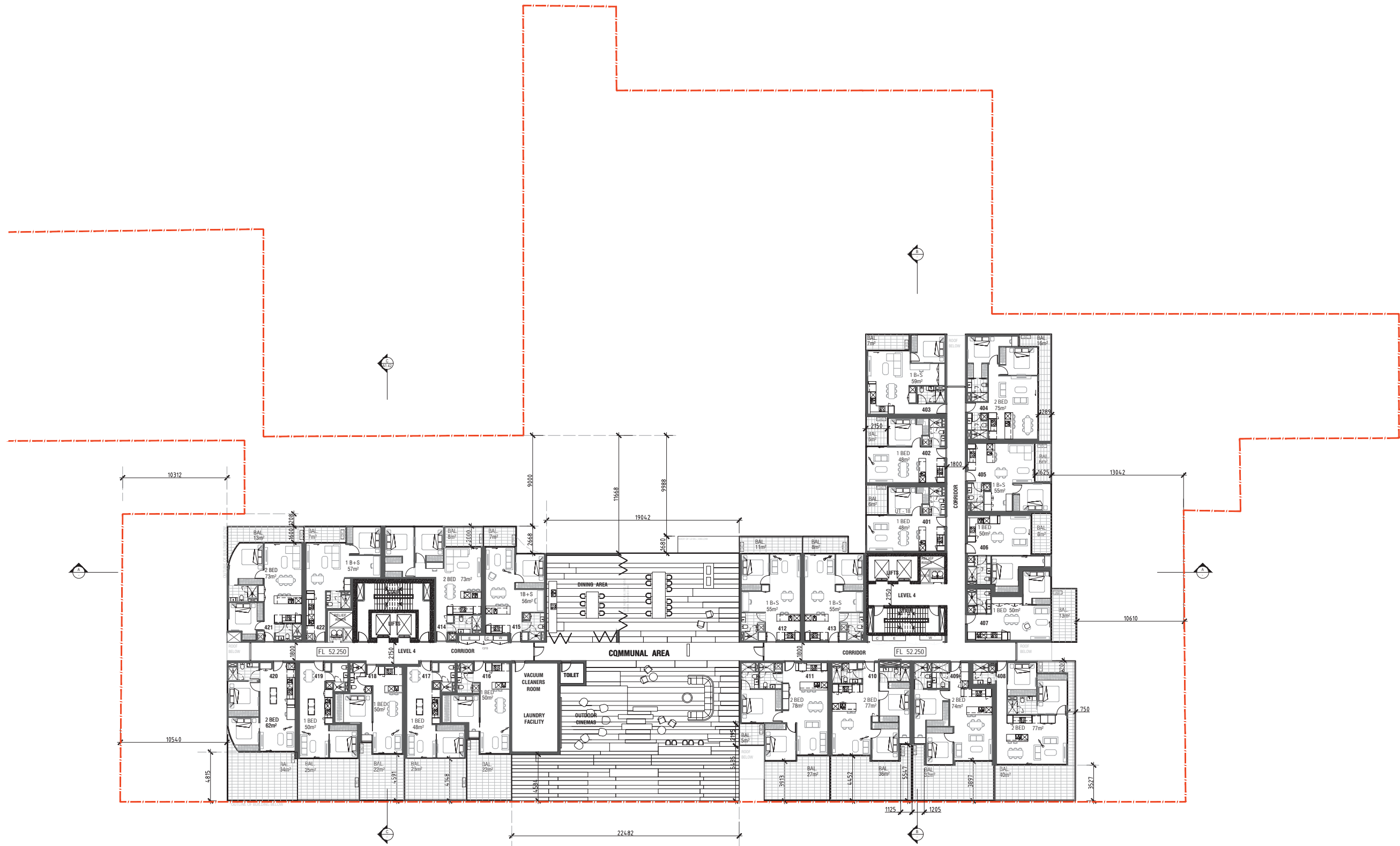
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244	40 Hall St & 34 - 36 Margaret St Moonee Ponds, 3039
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Town Planning	TP- 105

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108 LEVEL 4 PLAN
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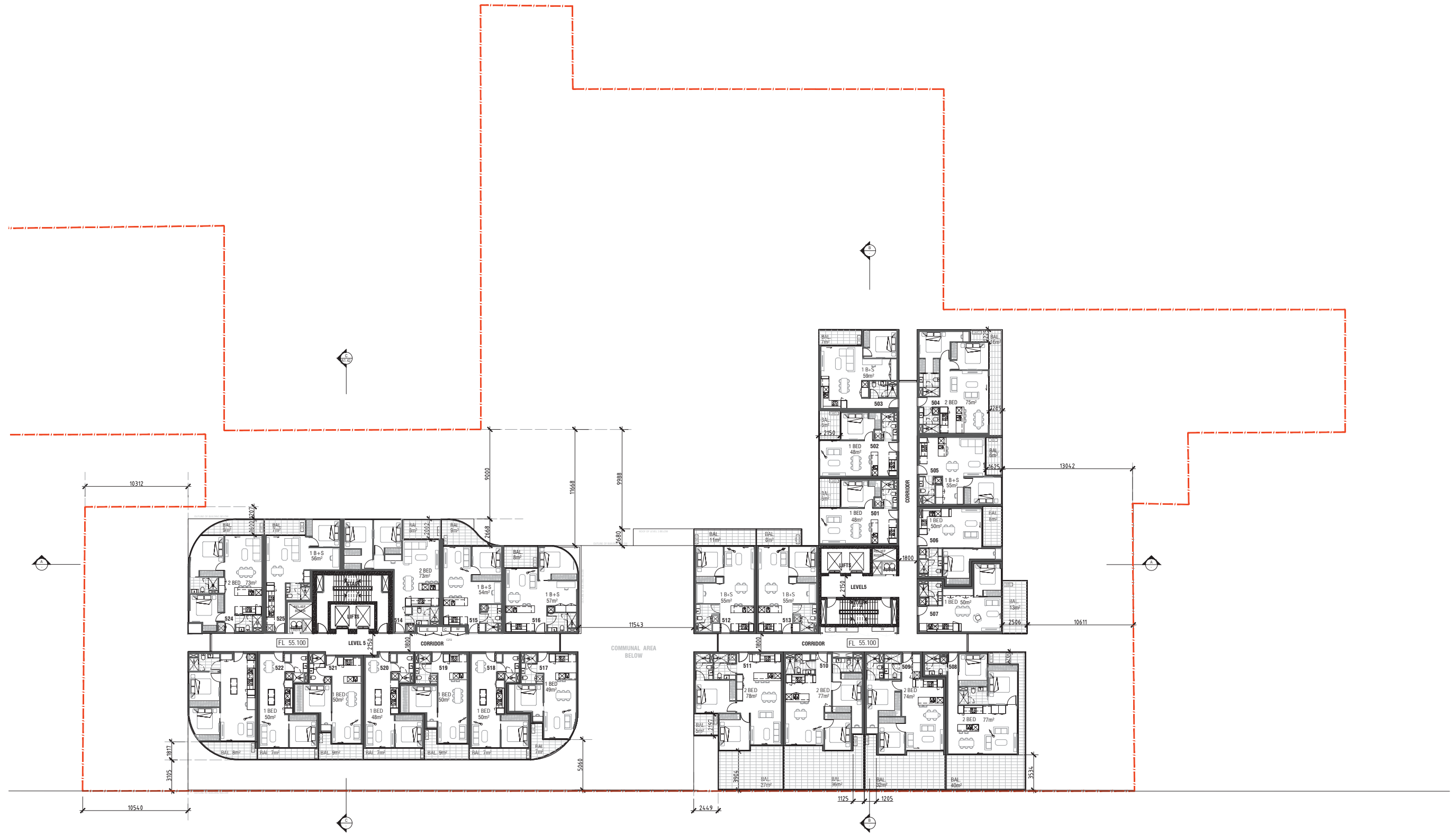
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109 LEVEL 5 PLAN
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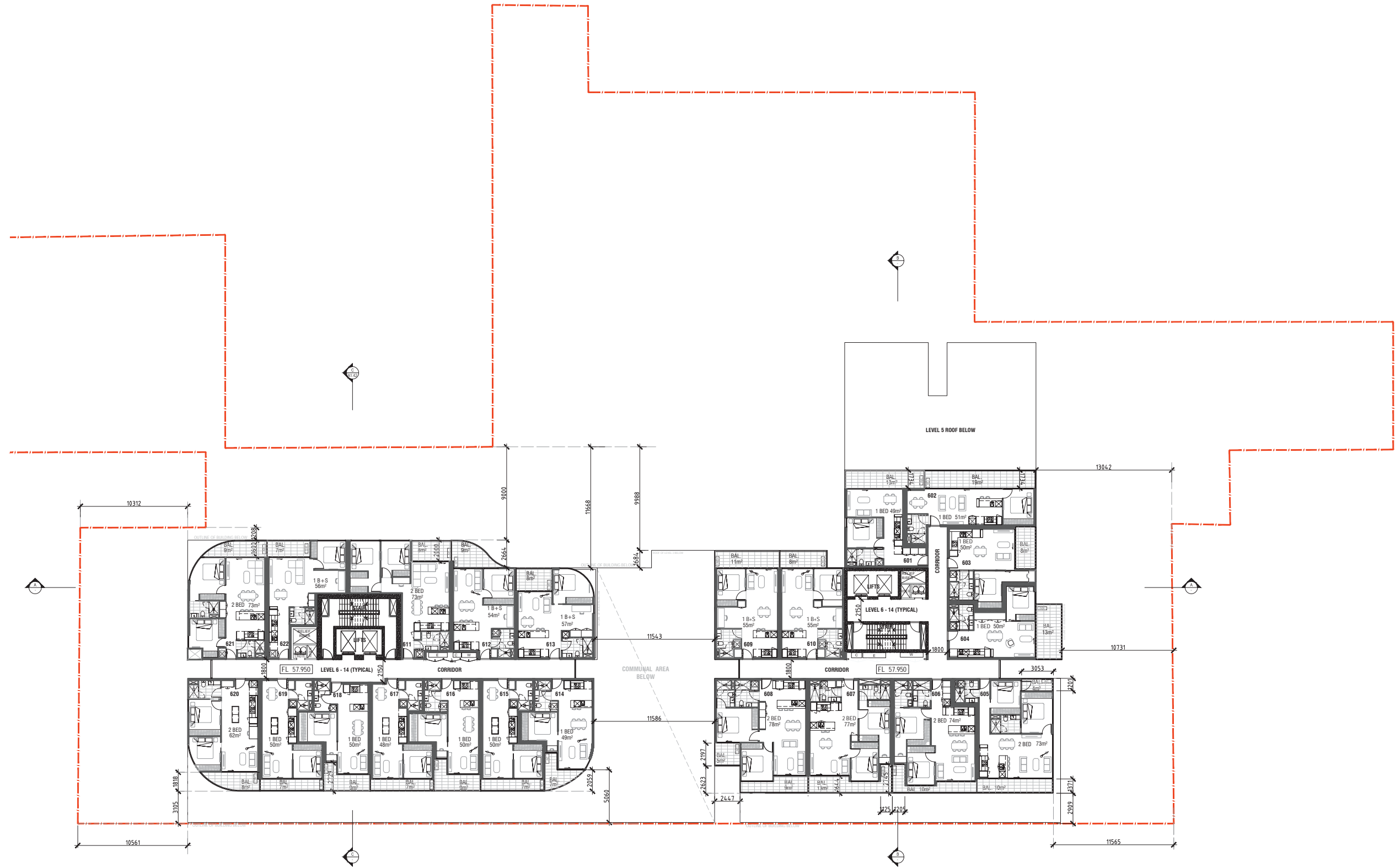
DRAWING TITLE Level 5 Plan		
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110 LEVEL 6 - 14
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
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DRAWING TITLE
Level 6-14 Plan

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PROJECT NO.
244

PROJECT
40 Hall St & 34 - 36 Margaret St
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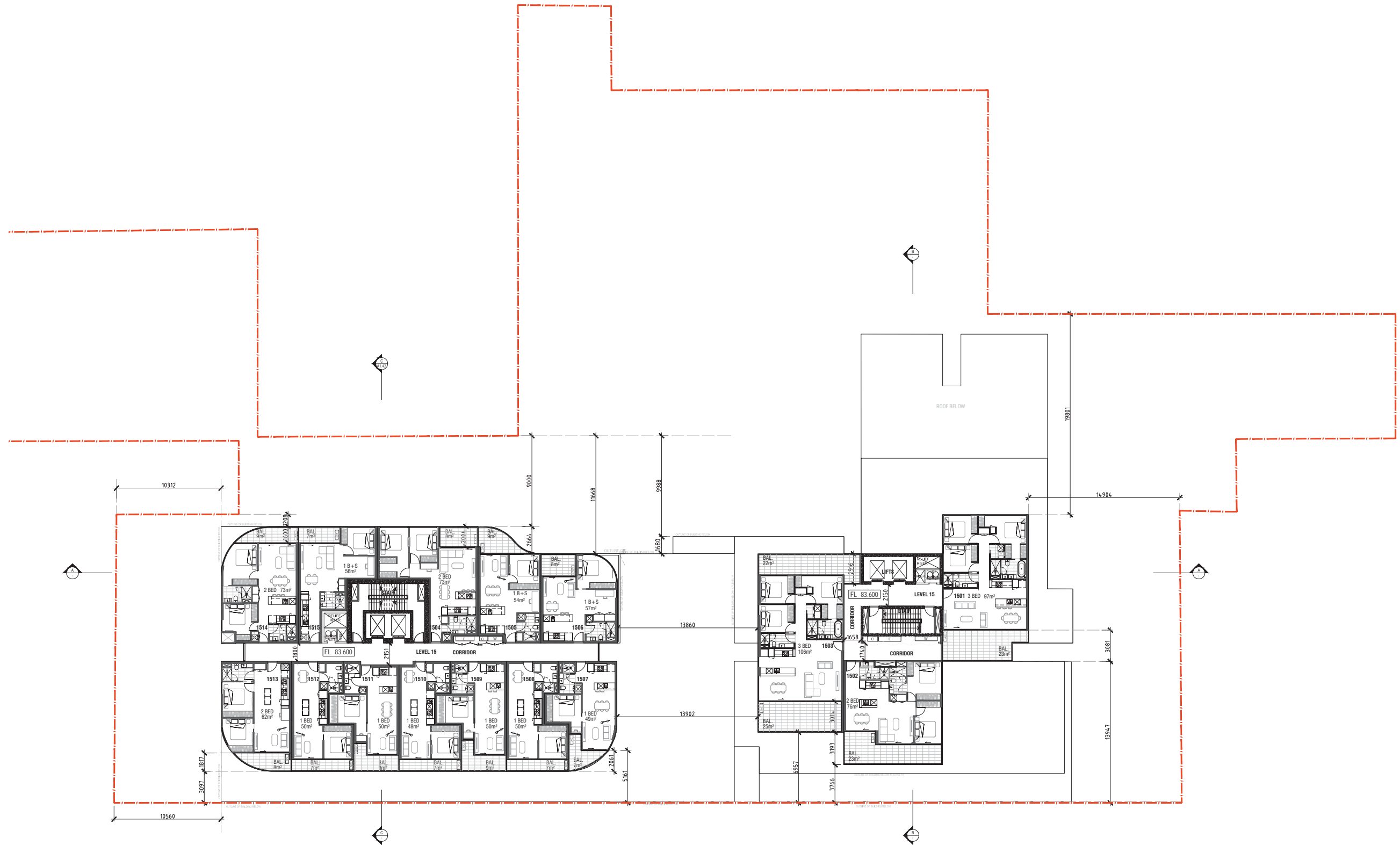
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Town Planning TP- 110

SCALE: 1:200
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111 LEVEL 15 PLAN
SCALE: 1:200 @A1

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DRAWING TITLE
Level 15 Plan

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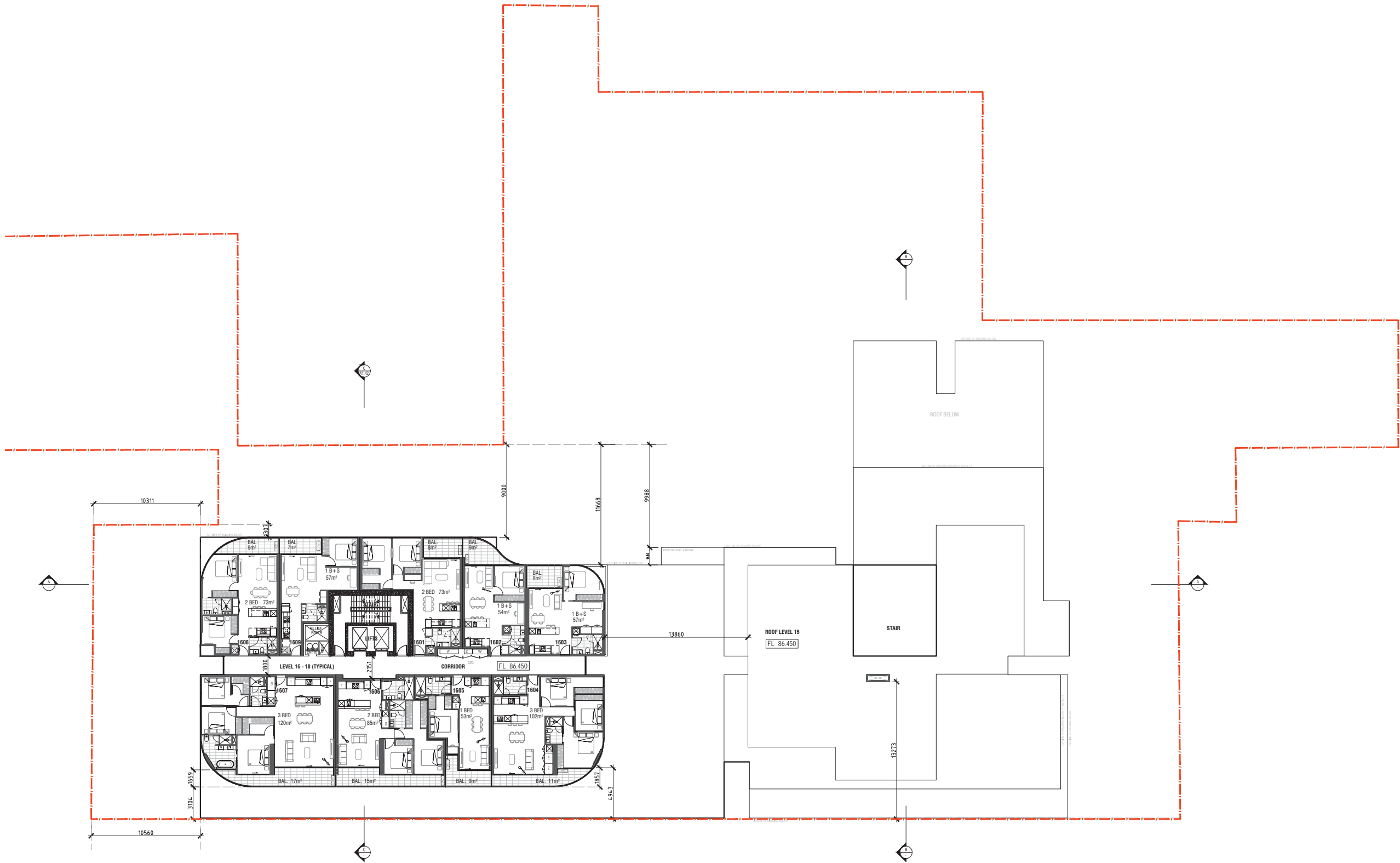
PROJECT
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TP- 111

SCALE: 1:200
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112 LEVEL 16 - 18 PLAN
SCALE: 1:200 @A1

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DRAWING TITLE
Level 16-18 Plan

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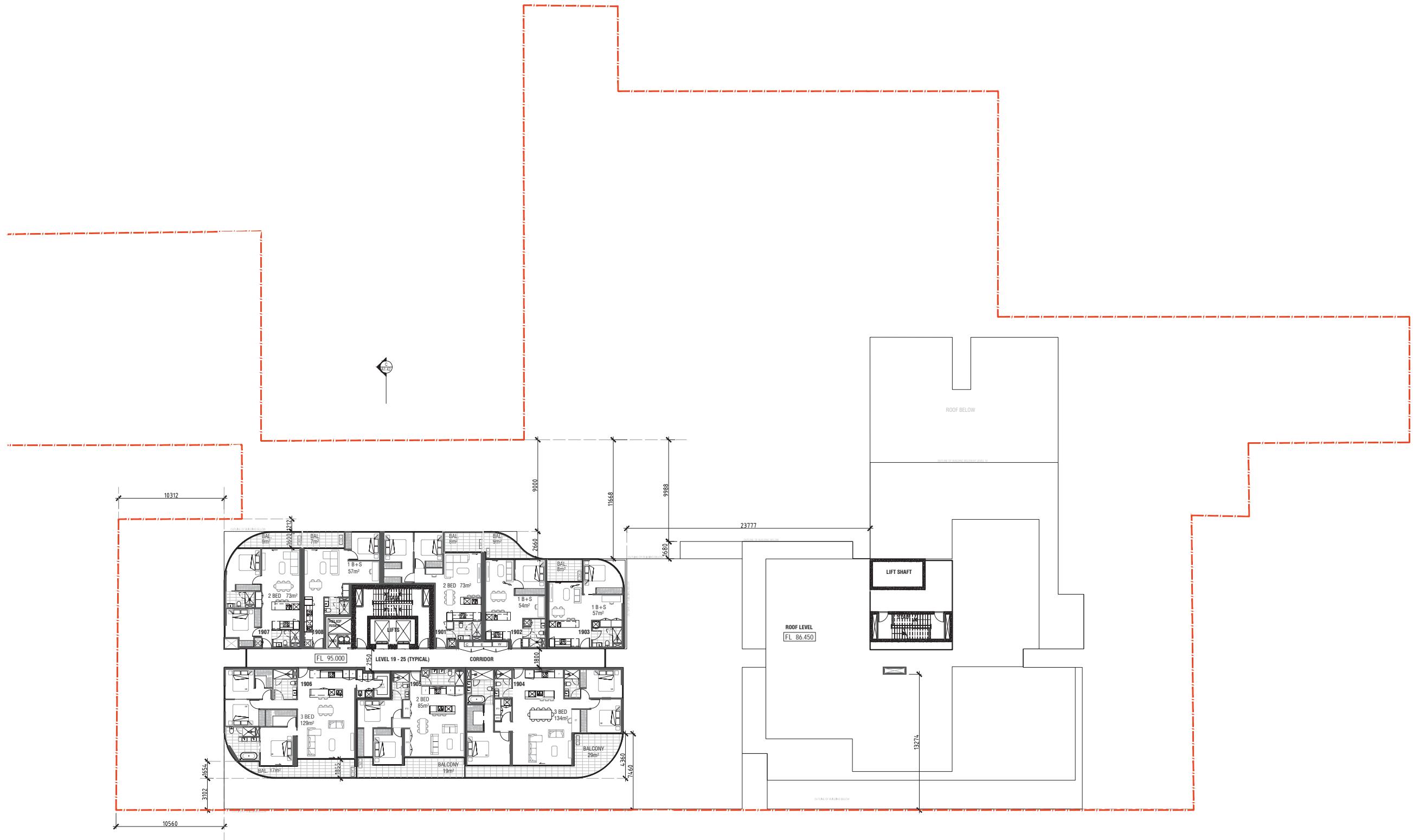
PROJECT
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TP- 112



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113 LEVEL 19 - 25 PLAN
SCALE: 1:200 @A1

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Level 19-25 Plan

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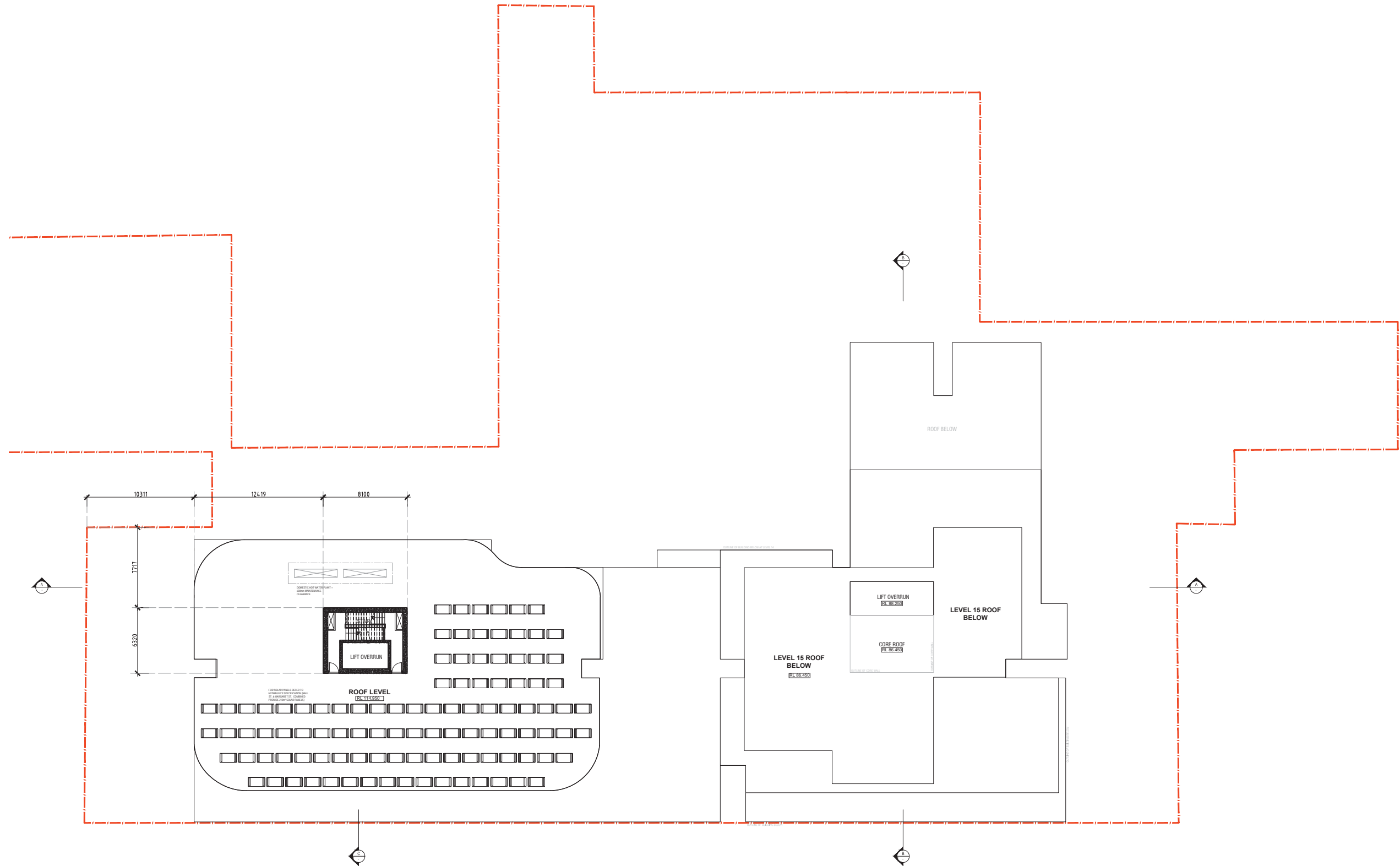
PROJECT
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114 ROOF PLAN
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
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DRAWING TITLE
Roof Plan

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Town Planning

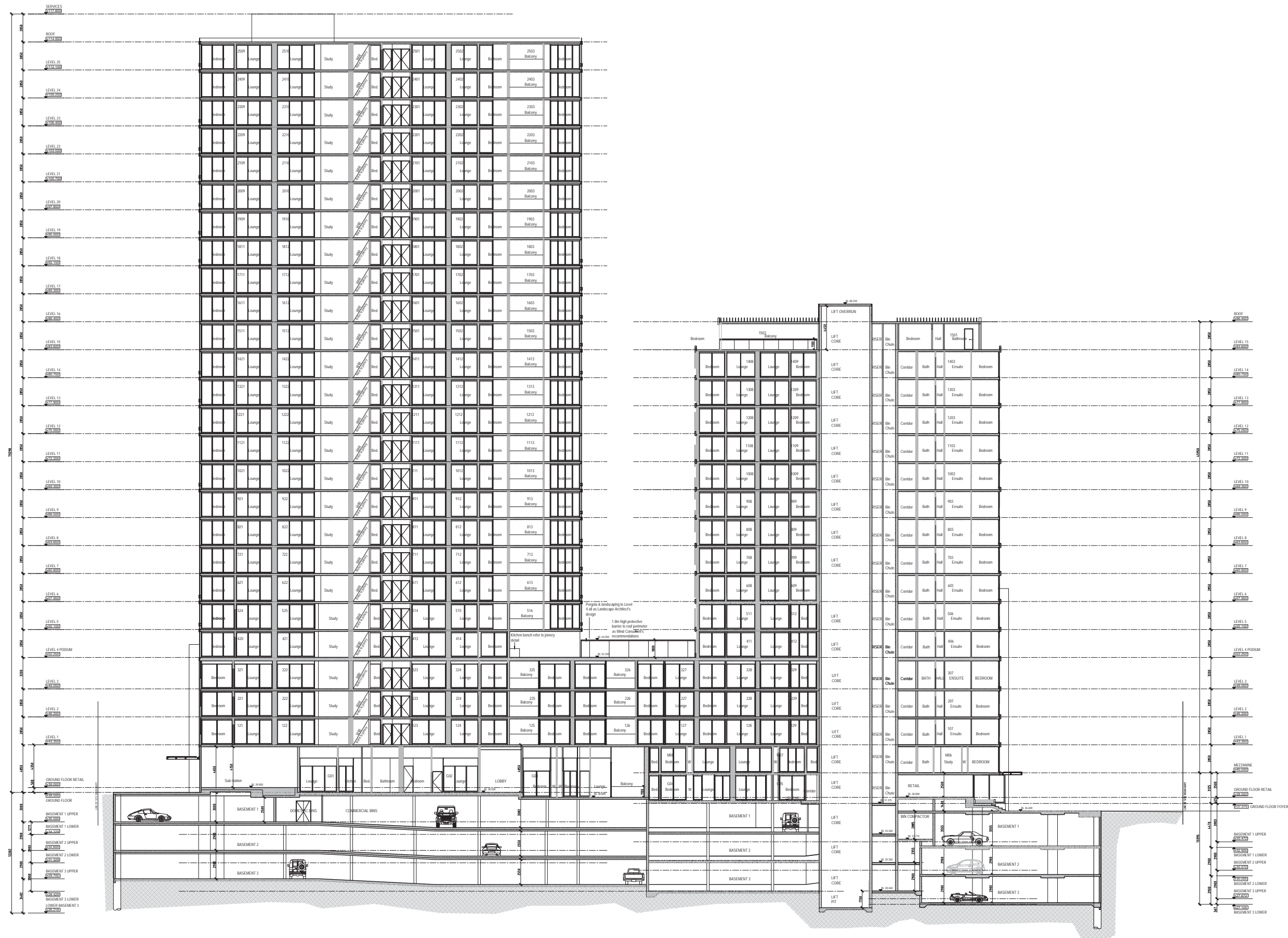
PROJECT
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TP- 114



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115 SECTION A-A
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
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DRAWING TITLE
Section A-A

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PROJECT
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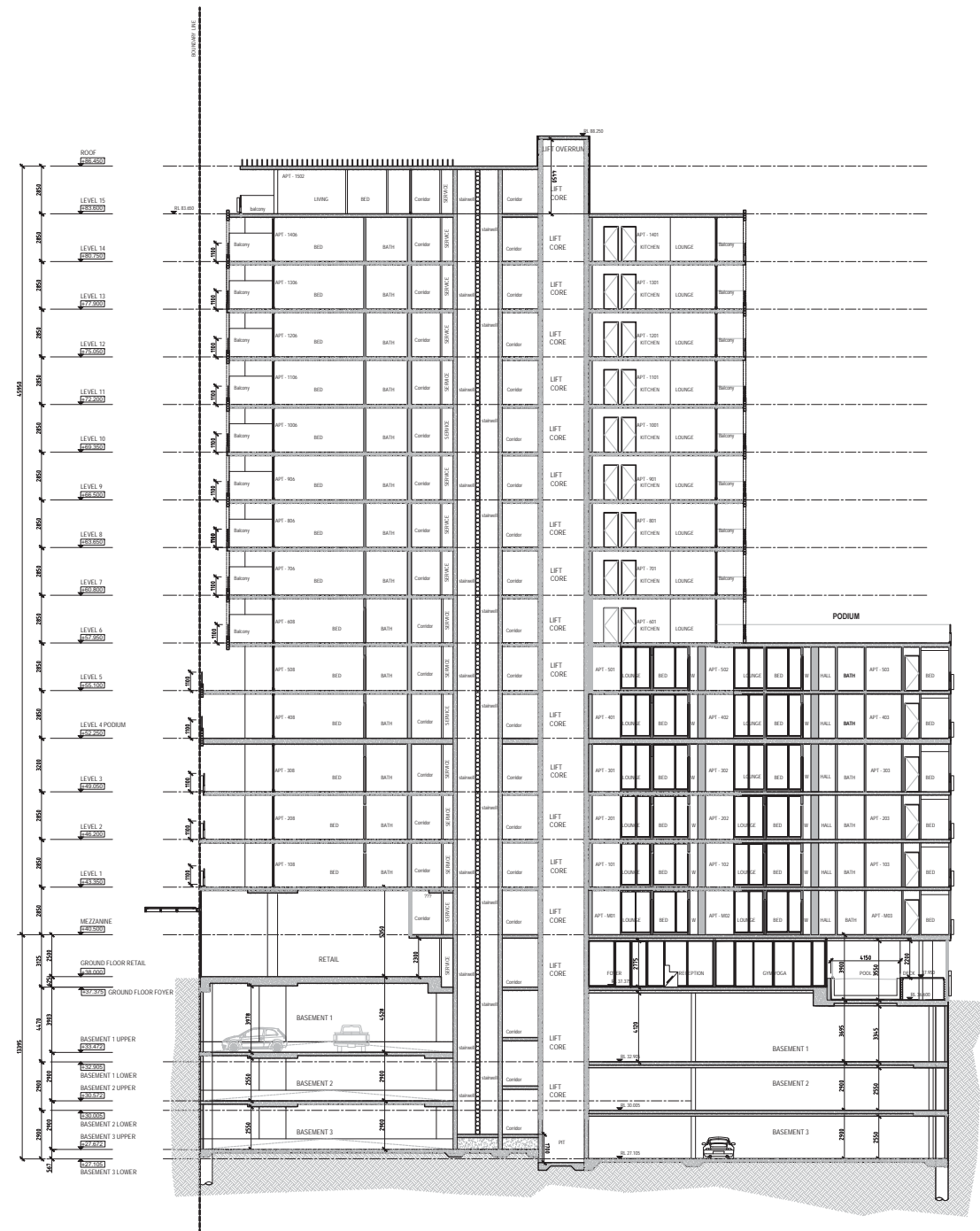
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SCALE: 1:200
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116 SECTION B-B
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
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Section B-B

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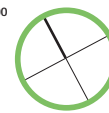
ISSUE DATE
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PROJECT NO.
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PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039

REVISION / DRAWING NUMBER
Town Planning TP- 116

SCALE: 1:200
@A1

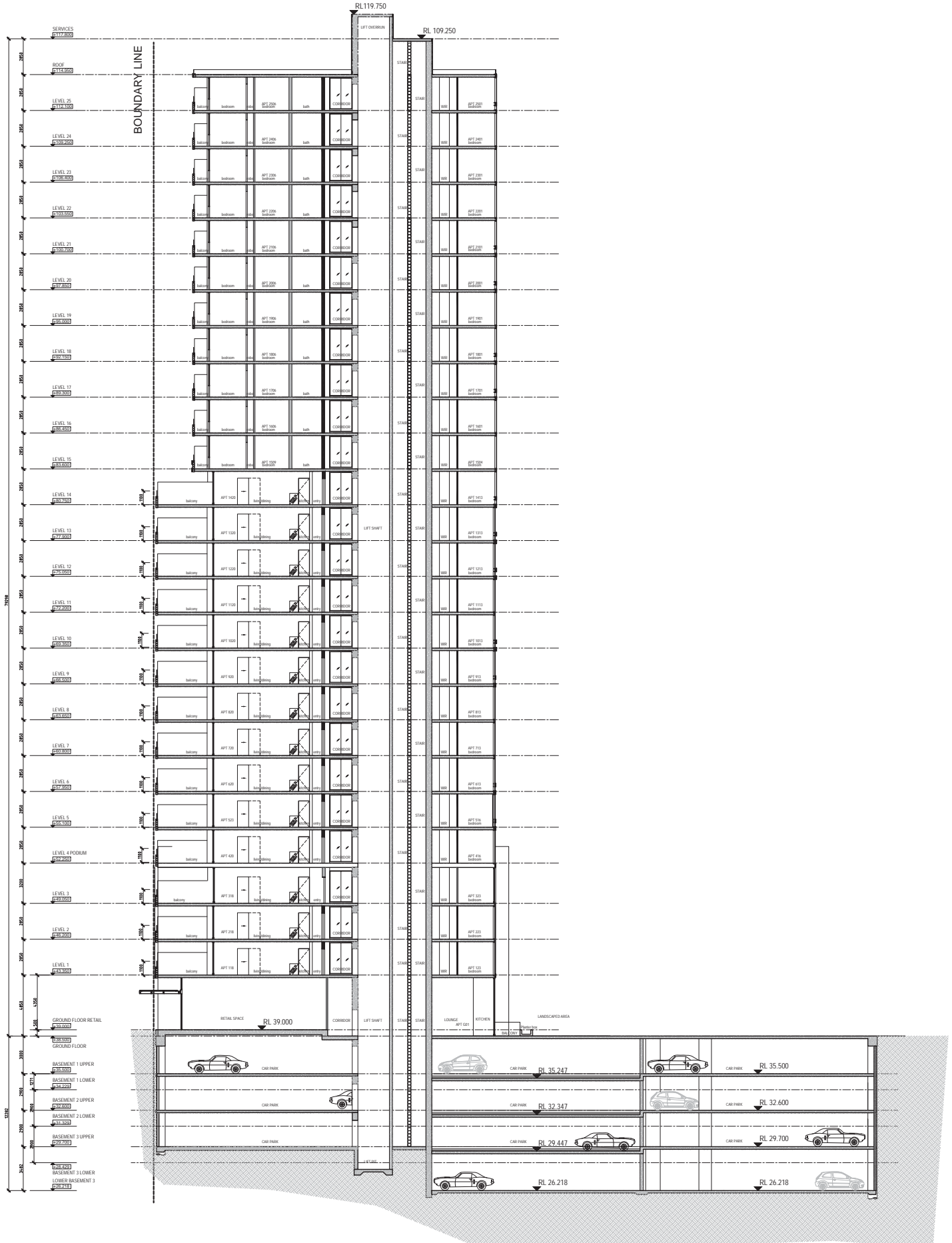


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SECTION C-C

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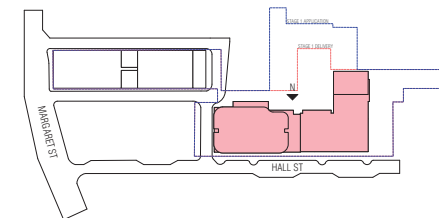
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118 NORTH ELEVATION
SCALE: 1:200 @A1

EXTERNAL FINISHES LEGEND

G1	GLASS VISION TYPE 1	M1	METAL COLOUR 1	C1	CONCRETE FINISH 1	B1	BRICK FINISH 1
GS1	GLASS SPANDREL TYPE 1	M2	METAL COLOUR 2	C2	CONCRETE FINISH 2	B2	BRICK FINISH 2
G2	GLASS VISION TYPE 2	M3	METAL COLOUR 3	C3	CONCRETE FINISH 3	P1	PAINT FINISH 1
GS2	GLASS SPANDREL TYPE 2	M4	METAL COLOUR 4	C4	CONCRETE FINISH 4	T1	TIMBER FINISH 1
G3	GLASS VISION TYPE 3						



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North Elevation

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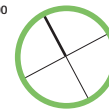
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Moonee Ponds, 3039

TP- 118

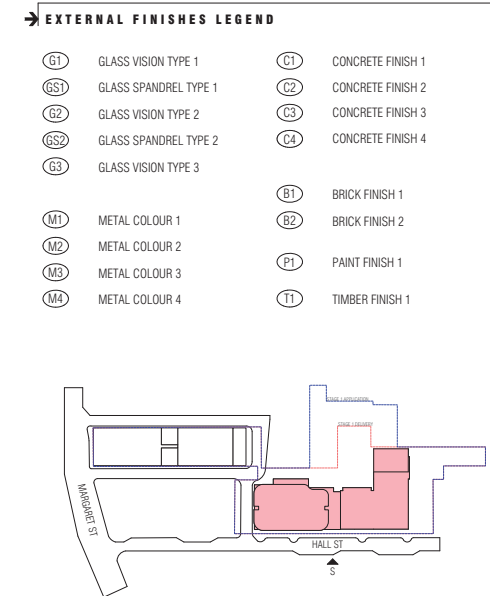
SCALE: 1:200

@A1



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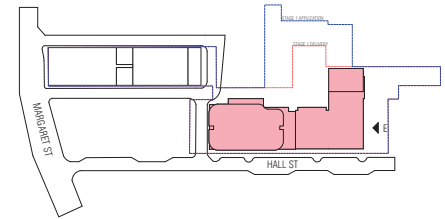
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120 EAST ELEVATION ON
SCALE: 1:200 @A1

EXTERNAL FINISHES LEGEND			
G1	GLASS VISION TYPE 1	C1	CONCRETE FINISH 1
GS1	GLASS SPANDREL TYPE 1	C2	CONCRETE FINISH 2
G2	GLASS VISION TYPE 2	C3	CONCRETE FINISH 3
GS2	GLASS SPANDREL TYPE 2	C4	CONCRETE FINISH 4
G3	GLASS VISION TYPE 3	B1	BRICK FINISH 1
M1	METAL COLOUR 1	B2	BRICK FINISH 2
M2	METAL COLOUR 2	P1	PAINT FINISH 1
M3	METAL COLOUR 3	T1	TIMBER FINISH 1
M4	METAL COLOUR 4		



REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE
East Elevation

CHECKED BY GDS	DRAWN BY JB, IC	ISSUE DATE 12/10/2015
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PROJECT NO. 244	REVISION / DRAWING NUMBER Town Planning
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PROJECT 40 Hall St & 34 - 36 Margaret St Moonee Ponds, 3039	TP- 120
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SCALE: 1:200
@A1



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EXTERNAL FINISHES LEGEND

G1	GLASS VISION TYPE 1	C1	CONCRETE FINISH 1
GS1	GLASS SPANDREL TYPE 1	C2	CONCRETE FINISH 2
G2	GLASS VISION TYPE 2	C3	CONCRETE FINISH 3
GS2	GLASS SPANDREL TYPE 2	C4	CONCRETE FINISH 4
G3	GLASS VISION TYPE 3		
M1	METAL COLOUR 1	B1	BRICK FINISH 1
M2	METAL COLOUR 2	B2	BRICK FINISH 2
M3	METAL COLOUR 3	P1	PAIN T FINISH 1
M4	METAL COLOUR 4	T1	TIMBER FINISH 1

121 WEST ELEVATION
SCALE: 1:200 @A1

122 EAST BUILDING - EAST ELEVATION
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE
East Building - East Elevation

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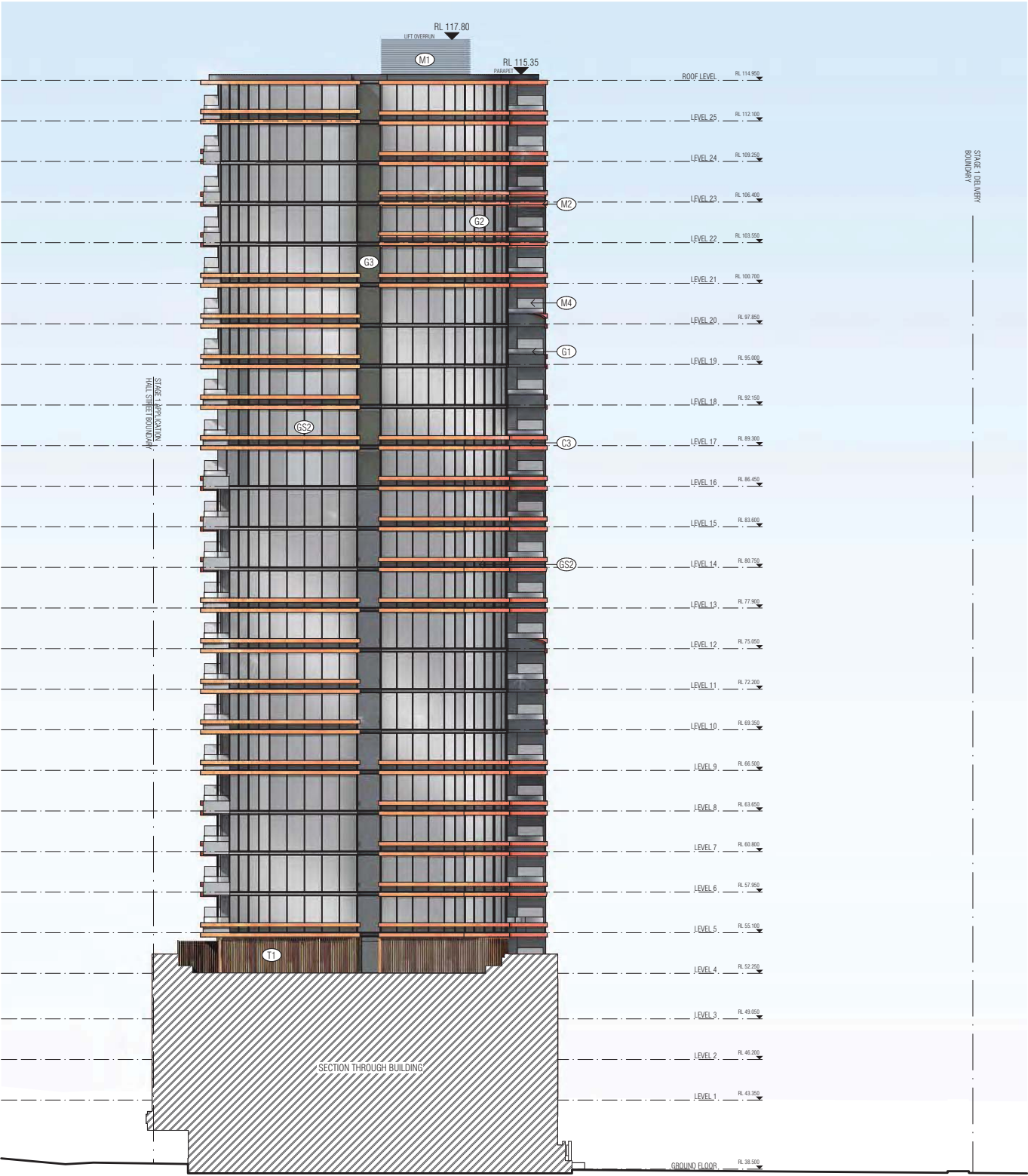
PROJECT NO. 244	PROJECT 40 Hall St & 34 - 36 Margaret St Moonee Ponds, 3039
REVISION / DRAWING NUMBER Town Planning	TP- 122

SCALE: 1:200
@A1

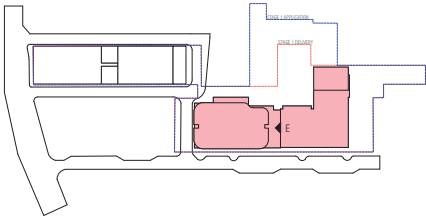


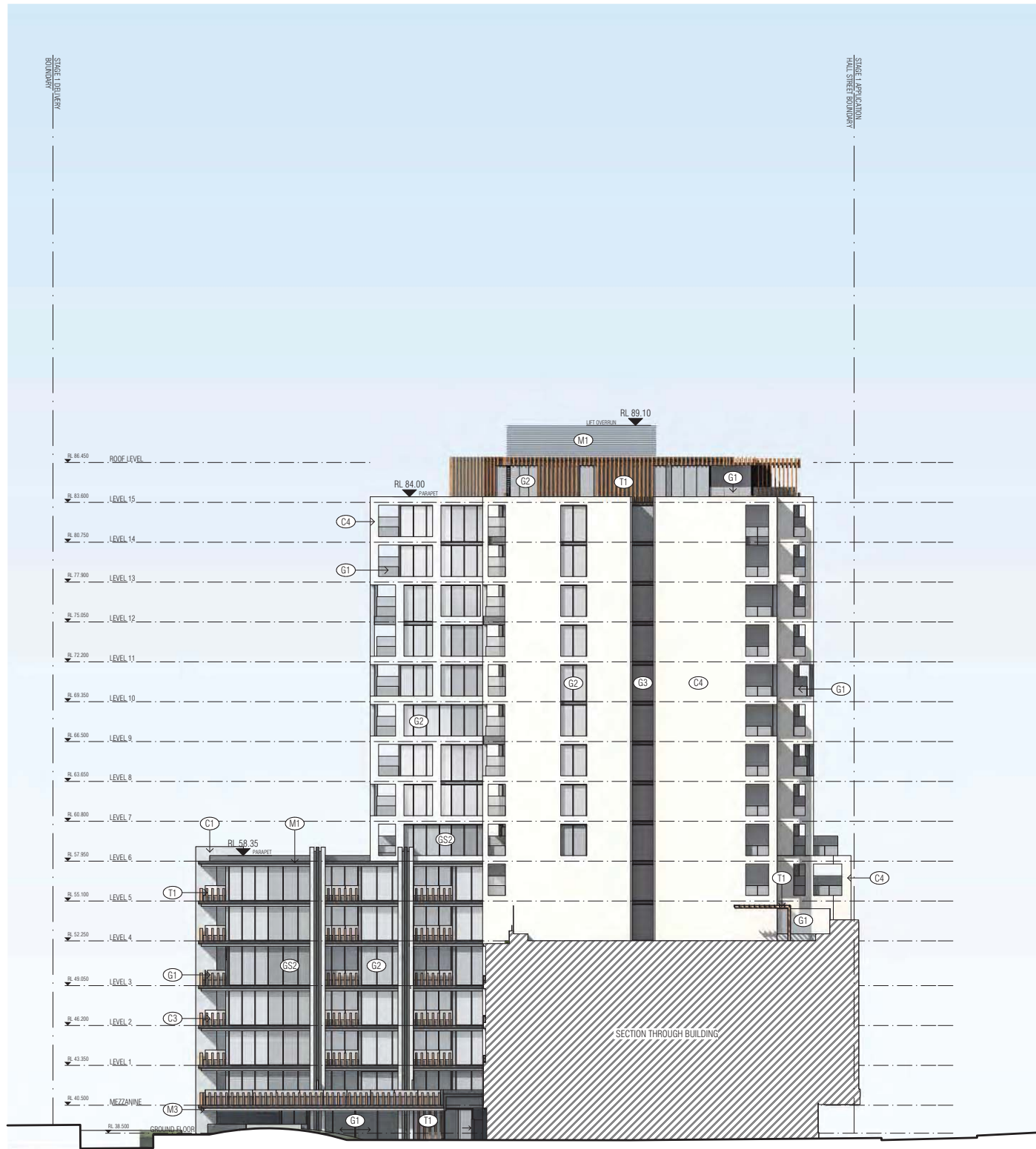
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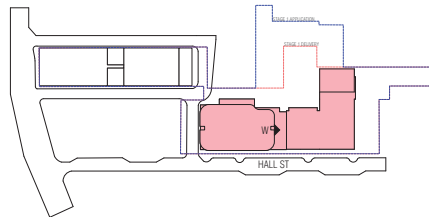
EXTERNAL FINISHES LEGEND			
G1	GLASS VISION TYPE 1	C1	CONCRETE FINISH 1
GS1	GLASS SPANDREL TYPE 1	C2	CONCRETE FINISH 2
G2	GLASS VISION TYPE 2	C3	CONCRETE FINISH 3
GS2	GLASS SPANDREL TYPE 2	C4	CONCRETE FINISH 4
G3	GLASS VISION TYPE 3	B1	BRICK FINISH 1
M1	METAL COLOUR 1	B2	BRICK FINISH 2
M2	METAL COLOUR 2	P1	PAINT FINISH 1
M3	METAL COLOUR 3	T1	TIMBER FINISH 1
M4	METAL COLOUR 4		





EXTERNAL FINISHES LEGEND

- | | | | |
|-----|-----------------------|----|-------------------|
| G1 | GLASS VISION TYPE 1 | C1 | CONCRETE FINISH 1 |
| GS1 | GLASS SPANDREL TYPE 1 | C2 | CONCRETE FINISH 2 |
| G2 | GLASS VISION TYPE 2 | C3 | CONCRETE FINISH 3 |
| GS2 | GLASS SPANDREL TYPE 2 | C4 | CONCRETE FINISH 4 |
| G3 | GLASS VISION TYPE 3 | | |
| M1 | METAL COLOUR 1 | B1 | BRICK FINISH 1 |
| M2 | METAL COLOUR 2 | B2 | BRICK FINISH 2 |
| M3 | METAL COLOUR 3 | P1 | PAINT FINISH 1 |
| M4 | METAL COLOUR 4 | T1 | TIMBER FINISH 1 |



123 EAST BUILDING - WEST ELEVATION
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE
East Building - West Elevation

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PROJECT NO.
244

REVISION / DRAWING NUMBER
Town Planning

PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039

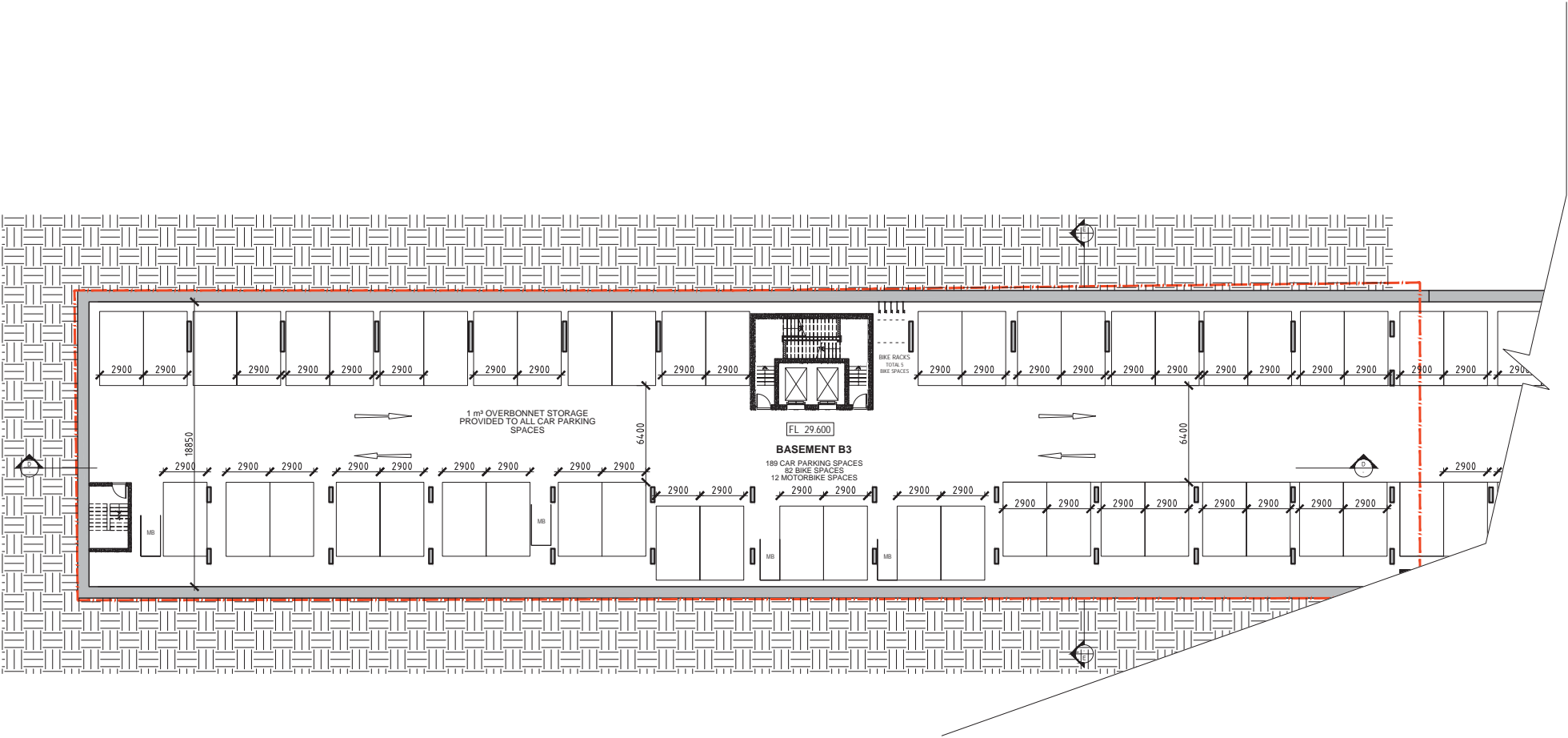
TP- 123

SCALE: 1:200
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201 BASEMENT LEVEL 3 PLAN
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE		
Basement Level 3 Plan		
CHECKED BY GDS	DRAWN BY JB, IC	ISSUE DATE 12/10/2015

PROJECT NO. 244	PROJECT 40 Hall St & 34 - 36 Margaret St Moonee Ponds, 3039
REVISION / DRAWING NUMBER	
Town Planning	TP- 201

SCALE: 1:200
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204 GROUND FLOOR PLAN
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE
Ground Floor Plan

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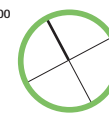
PROJECT NO.
244

REVISION / DRAWING NUMBER
Town Planning

PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039

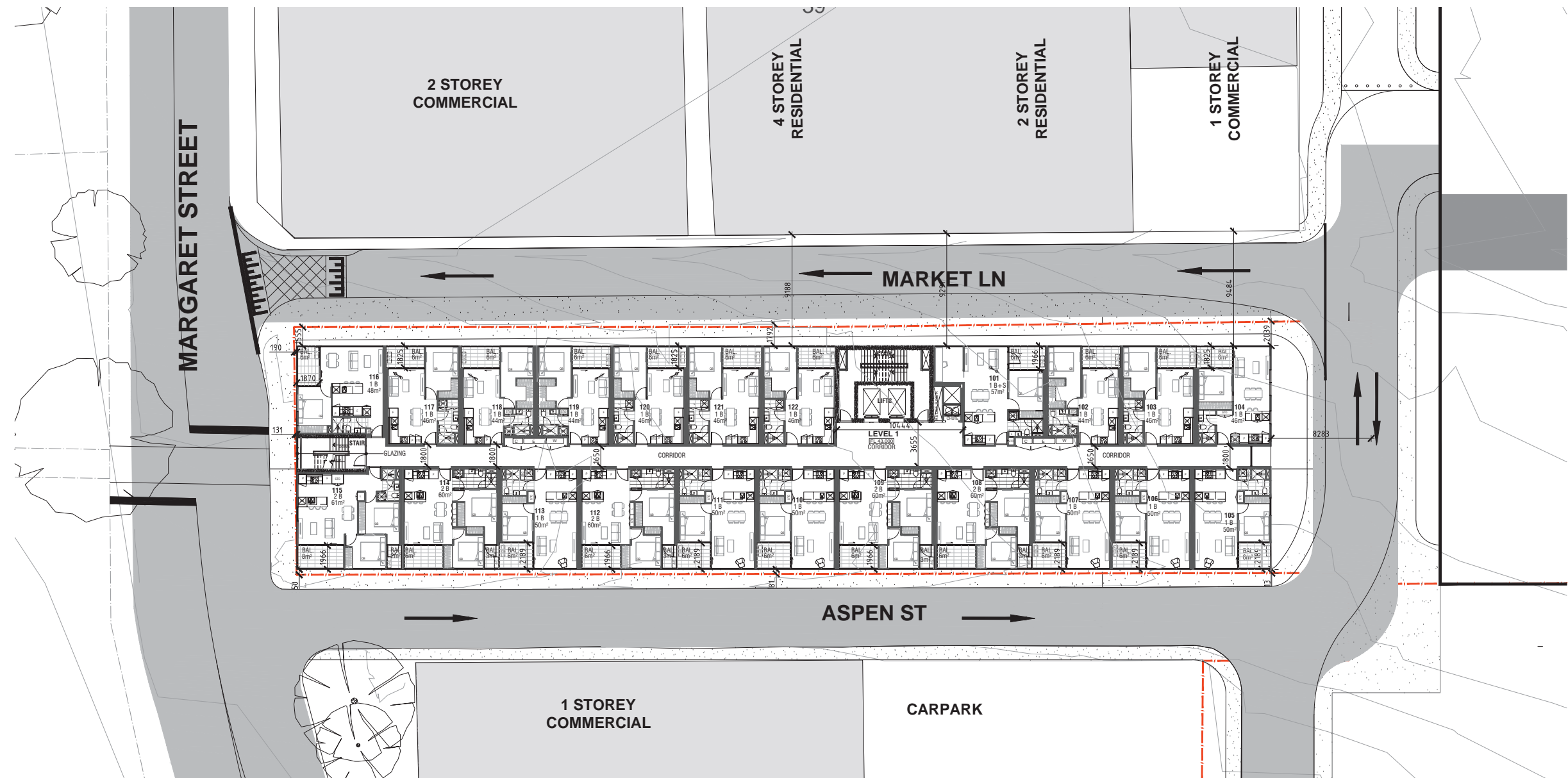
TP- 204

SCALE: 1:200
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205 LEVEL 1 PLAN
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DRAWING TITLE
Level 1 Plan

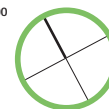
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PROJECT NO.
244

PROJECT
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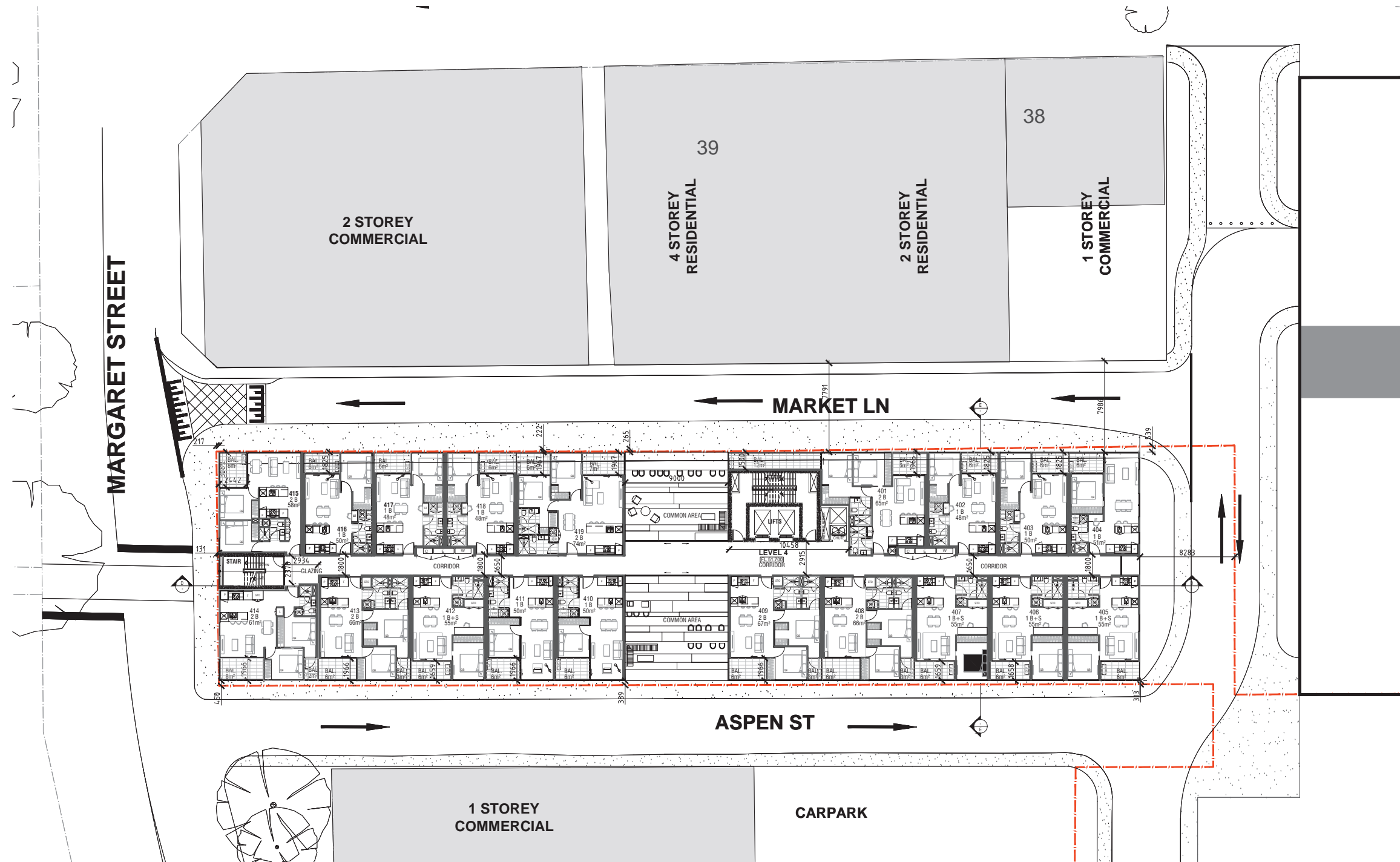
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Town Planning TP- 205

SCALE: 1:200
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207 LEVEL 4 PLAN
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
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DRAWING TITLE
Level 4 Plan

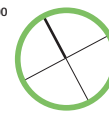
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PROJECT NO.
244

PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039

REVISION / DRAWING NUMBER
Town Planning TP- 207

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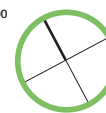
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Town Planning TP- 208/209

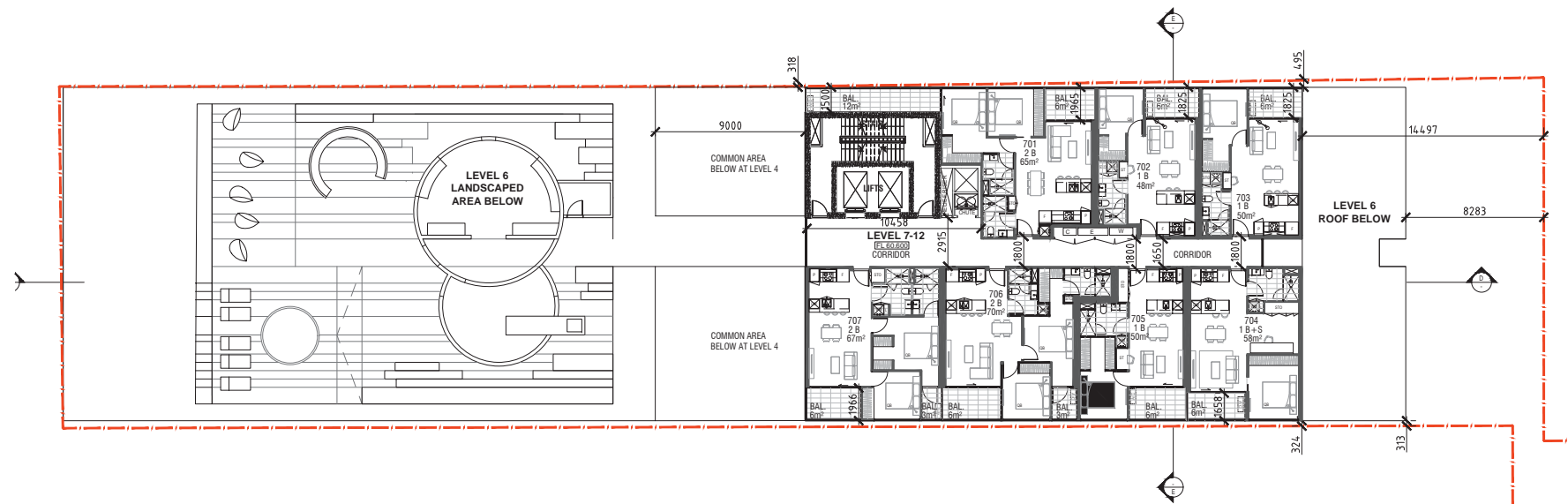
PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039



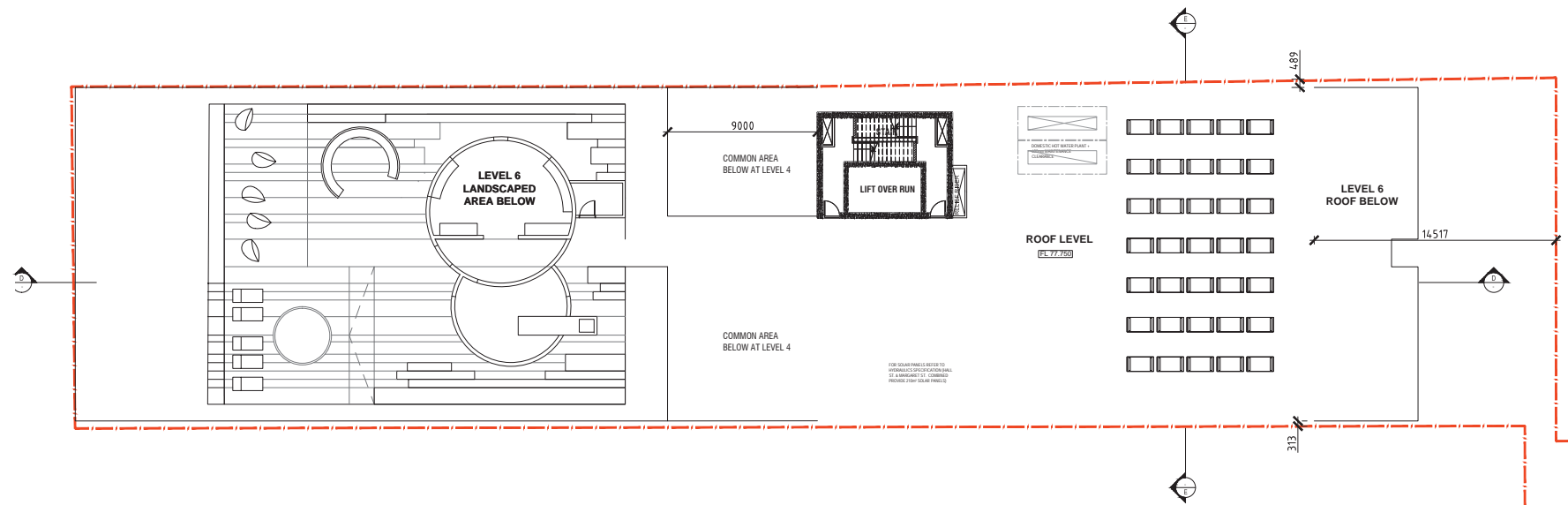
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210 LEVEL 7 - 12 PLAN
SCALE: 1:200 @A1



211 ROOF PLAN
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE
Level 7 - 12 & Roof Plan

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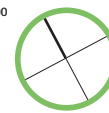
ISSUE DATE
12/10/2015

PROJECT NO.
244

PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039

REVISION / DRAWING NUMBER
Town Planning TP- 210/211

SCALE: 1:200
@A1

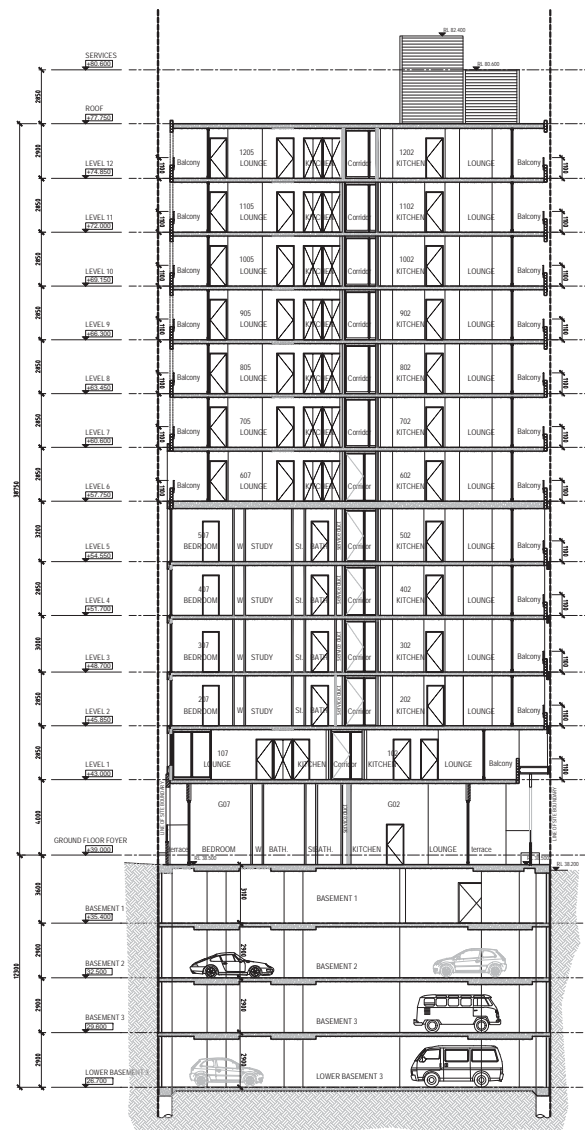


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213 SECTION E-E
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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Section E-E

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ISSUE DATE
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PROJECT NO.
244

REVISION / DRAWING NUMBER
Town Planning

PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039

TP- 213

SCALE: 1:200
@A1



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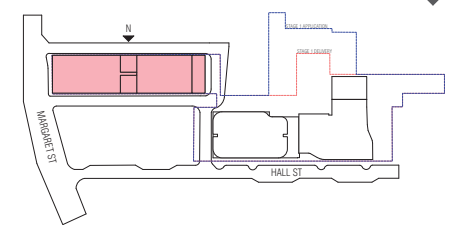
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EXTERNAL FINISHES LEGEND

- | | | | |
|-----|-----------------------|----|-------------------|
| G1 | GLASS VISION TYPE 1 | C1 | CONCRETE FINISH 1 |
| G2 | GLASS VISION TYPE 2 | C2 | CONCRETE FINISH 2 |
| GS2 | GLASS SPANDREL TYPE 2 | C3 | CONCRETE FINISH 3 |
| G3 | GLASS VISION TYPE 3 | C4 | CONCRETE FINISH 4 |
| M1 | METAL COLOUR 1 | B1 | BRICK FINISH 1 |
| M2 | METAL COLOUR 2 | B2 | BRICK FINISH 2 |
| M3 | METAL COLOUR 3 | P1 | PAINT FINISH 1 |
| M4 | METAL COLOUR 4 | T1 | TIMBER FINISH 1 |
| M5 | METAL COLOUR 5 | | |
| M6 | METAL LOUVRE | | |



214 NORTH ELEVATION
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE
North Elevation

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PROJECT NO.
244

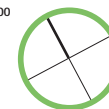
REVISION / DRAWING NUMBER

Town Planning

PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039

TP- 214

SCALE: 1:200
@A1



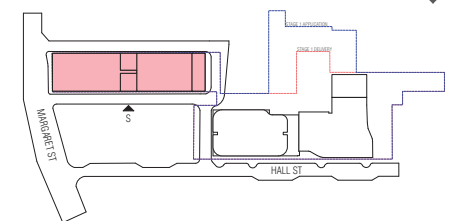
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EXTERNAL FINISHES LEGEND

- | | | | |
|-------|-----------------------|------|-------------------|
| (G1) | GLASS VISION TYPE 1 | (C1) | CONCRETE FINISH 1 |
| (G2) | GLASS VISION TYPE 2 | (C2) | CONCRETE FINISH 2 |
| (GS2) | GLASS SPANDREL TYPE 2 | (C3) | CONCRETE FINISH 3 |
| (G3) | GLASS VISION TYPE 3 | (C4) | CONCRETE FINISH 4 |
| (M1) | METAL COLOUR 1 | (B1) | BRICK FINISH 1 |
| (M2) | METAL COLOUR 2 | (B2) | BRICK FINISH 2 |
| (M3) | METAL COLOUR 3 | (P1) | PAINT FINISH 1 |
| (M4) | METAL COLOUR 4 | (T1) | TIMBER FINISH 1 |
| (M5) | METAL COLOUR 5 | | |
| (M6) | METAL LOUVRE | | |



215 SOUTH ELEVATION
SCALE: 1:200 @A1

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE
South Elevation

CHECKED BY GDS	DRAWN BY JB, IC	ISSUE DATE 12/10/2015
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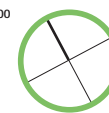
PROJECT NO.
244

REVISION / DRAWING NUMBER
Town Planning

PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039

TP- 215

SCALE: 1:200
@A1

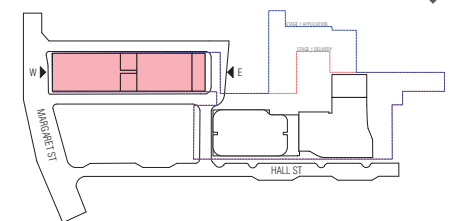


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(G1)	GLASS VISION TYPE 1	(C1)	CONCRETE FINISH 1
(G2)	GLASS VISION TYPE 2	(C2)	CONCRETE FINISH 2
(G52)	GLASS SPANDREL TYPE 2	(C3)	CONCRETE FINISH 3
(G3)	GLASS VISION TYPE 3	(C4)	CONCRETE FINISH 4
(M1)	METAL COLOUR 1	(B1)	BRICK FINISH 1
(M2)	METAL COLOUR 2	(B2)	BRICK FINISH 2
(M3)	METAL COLOUR 3	(P1)	PAINT FINISH 1
(M4)	METAL COLOUR 4	(T1)	TIMBER FINISH 1
(M5)	METAL COLOUR 5		
(M6)	METAL LOUVRE		



REVISION		DATE	BY	REASON
1	ISSUE FOR TOWN PLANNING	29.05.2015		
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This project is subject to the FKA Quality Assurance System

☐ Schematic Design Review for this project is yet to be completed.

☐ Design Development Review for this project is yet to be completed.

☐ Tender Documentation Review for this project is yet to be completed.

☐ Construction Documentation Review for this project is yet to be completed.

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SCALE
1:200@A1

PROJECT
MOONEE PONDS PRECINCT
HALL STREET AND MARGARET STREET
MOONEE PONDS VICTORIA 3039

				70	CITY ROAD SOUTHBANK
				3006	VICTORIA AUSTRALIA
61	3		8696	3888	TELEPHONE
61	3		9682	5925	FACSIMILE

DRAWING TITLE

MARGARET STREET EAST & WEST ELEVATION

- TOWN PLANNING

P223

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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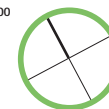
REVISION / DRAWING NUMBER

Town Planning

TP- 216/217

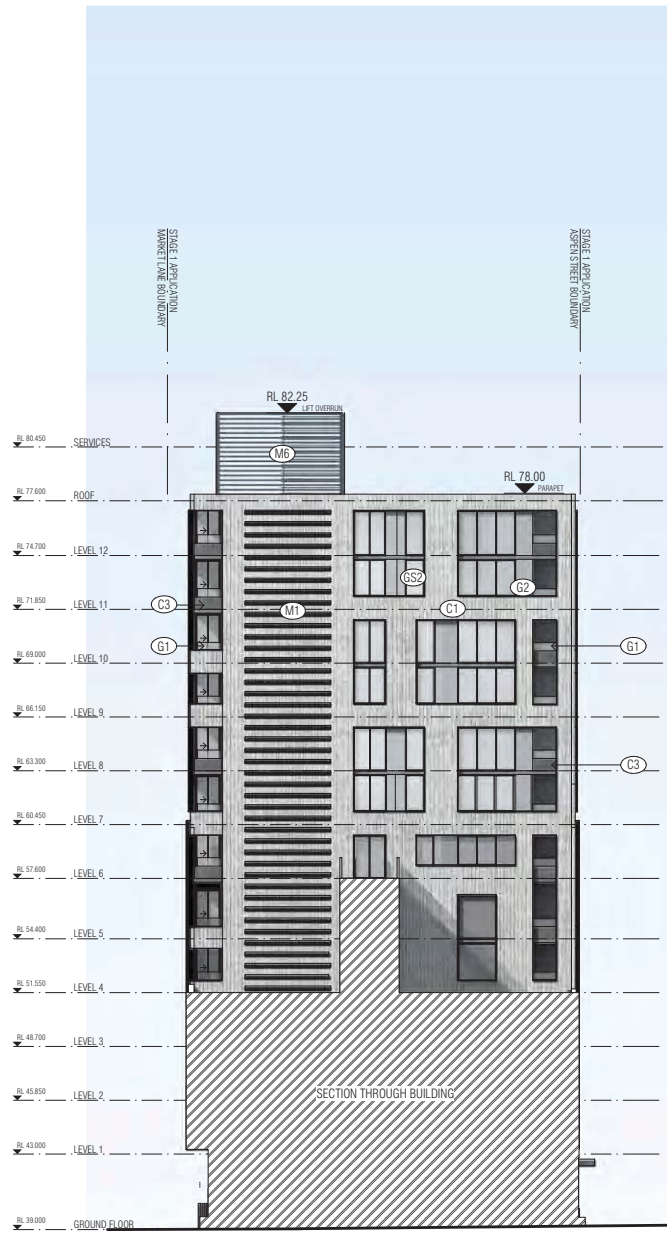
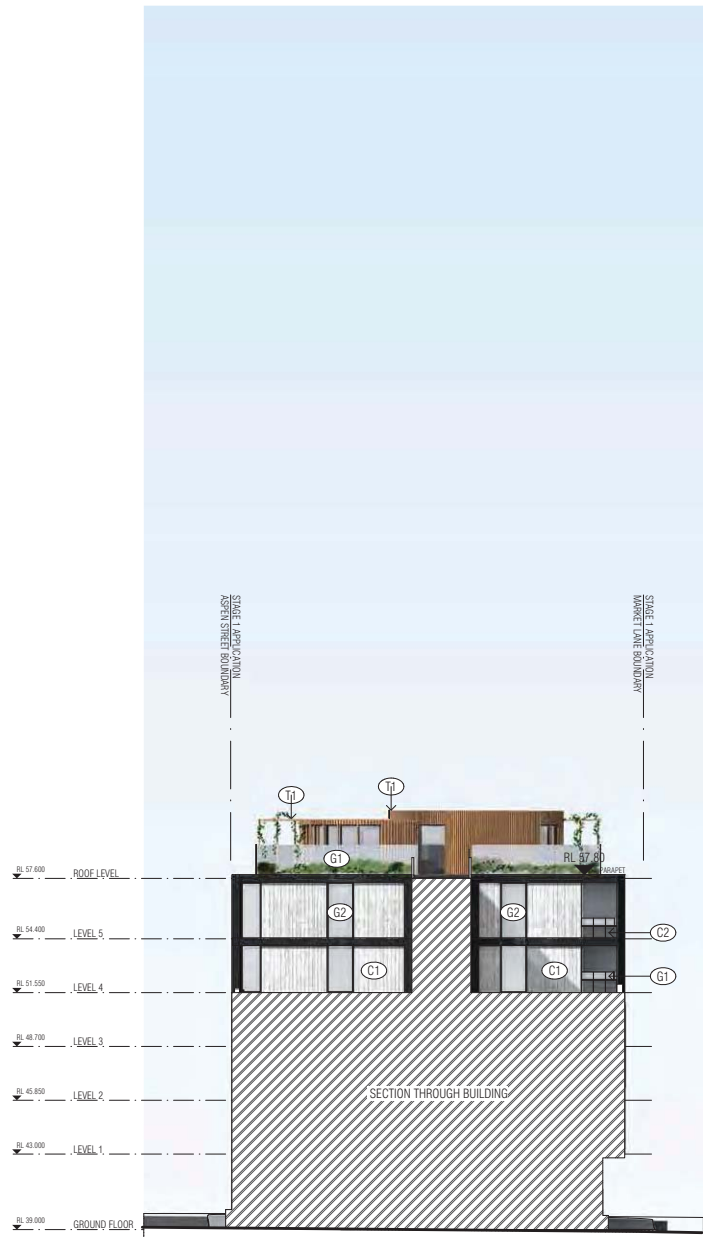
SCALE: 1:200

@A1



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EXTERNAL FINISHES LEGEND

G1	GLASS VISION TYPE 1	C1	CONCRETE FINISH 1
G2	GLASS VISION TYPE 2	C2	CONCRETE FINISH 2
GS2	GLASS SPANDREL TYPE 2	C3	CONCRETE FINISH 3
G3	GLASS VISION TYPE 3	C4	CONCRETE FINISH 4
M1	METAL COLOUR 1	B1	BRICK FINISH 1
M2	METAL COLOUR 2	B2	BRICK FINISH 2
M3	METAL COLOUR 3	P1	PAINT FINISH 1
M4	METAL COLOUR 4	T1	TIMBER FINISH 1
M5	METAL COLOUR 5		
M6	METAL LOUVRE		

218 EAST INSIDE ELEVATION
SCALE: 1:200 @A1

219 WEST INSIDE ELEVATION
SCALE: 1:200 @A1

BIM Server: Bimserver6 - BIM Server 18/15034 Hall Street Moonee Ponds /15034 Hall Street Moonee Ponds

REVISION	DATE	BY	APP
1	15/06/2015	JB	
2	12/10/2015	JB	

QUALITY ASSURANCE

This project is subject to the FKA Quality Assurance System

- ☐ Schematic Design Review for this project is yet to be completed.
- ☐ Design Development Review for this project is yet to be completed.
- ☐ Tender Documentation Review for this project is yet to be completed.
- ☐ Construction Documentation Review for this project is yet to be completed.

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AB/SM/CC	nil	CC	04.09.2015	15034

SCALE
1:200@A1

PROJECT
MOONEE PONDS PRECINCT
HALL STREET AND MARGARET STREET
MOONEE PONDS VICTORIA 3039

FENDER KATSALIDIS Architects

FENDER KATSALIDIS (AUST) PTY LTD ACRN 692 943 032 ABR 54 092 943 032

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DRAWING TITLE
MARGARET STREET EAST & WEST INSIDE ELEVATION

REVISION/ DRAWING No.
- TOWN PLANNING

TP224

REV.	DESCRIPTION	DATE
1	Town Planning Issue	15/06/2015
2	Town Planning Re-Issue	12/10/2015

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DRAWING TITLE
East & West Inside Elevation

CHECKED BY GDS	DRAWN BY JB, IC	ISSUE DATE 12/10/2015
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PROJECT NO.
244

REVISION / DRAWING NUMBER
Town Planning

PROJECT
40 Hall St & 34 - 36 Margaret St
Moonee Ponds, 3039

TP- 218/219

SCALE: 1:200
@A1



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CAYDON
Property Group

Hall Street & Margaret Street, Moonee Ponds

Landscape Design Report for Town Planning

OCULUS



Hall Street & Margaret Street, Moonee Ponds

Landscape Design Report for Town Planning

OCULUS



40 Hall Street & 34-36 Margaret Street
Moonee Ponds
15 October 2015
Revision K
Issued for Town Planning

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Hall Street & Margaret Street, Moonee Ponds

Landscape Overview

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Introduction

This Landscape Design Report has been prepared by OCULUS Landscape Architecture, Urban Design and Environmental Planning in association with Caydon and Fender Katsalidis Architects. This document sets forth the guiding principles for the landscape and external public and communal spaces for the development of 40 Hall Street & 34-36 Margaret Street in Moonee Ponds. The proposed landscape treatment will be integrated within the development's civic plaza, podium and communal rooftop spaces.

The proposal outlined within this report is intended to create a verdant, attractive and high quality landscape for the amenity of residents, users of the adjacent street and adjoining neighbours. The design of landscape is integrated with the design of the architecture of podium and slab edge in a way that deploys both soft and hardscape treatments to create a singular effect - a rambunctious garden that creates a moment of green dissonance in the urban environment.

Landscape Approach

The Landscape Architectural approach for Hall Street East will bring about a radical and healing transformation of the site from a single-use on grade car park into a mixed use and more public landscape. In order to do this, the new scheme will evoke the character of iconic Moonee Ponds landscapes, including Queens Park - immersive, civic and green.

The new landscape will exhibit a contemporary attitude toward the integration of landscape and architecture with green open space being provided on structure and on terra firma resulting in a double-ground plane where the limits of the landscape are deliberately uncertain.

In framing this approach, the design team has made careful reference to the City of Moonee Valley's Street Tree Planting Strategy and to it's Hall Street Precinct Development Plan in proposing a high standard of functional and aesthetically pleasing landscape for the development. The proposed landscape approach:

- Is generated out of an understanding of the actual site, its intrinsic qualities and how the proposed development can enhance and improve the site and neighbourhood;
- Seeks to create added amenity and value for neighbours, the adjacent streetscape and wider public domain by providing adequate landscape at the interface between development and the existing fabric. This includes new street networks and street tree planting;
- Seeks to unify the proposed building into a considered whole by seeing both the podium and on-ground landscape as a single and immersive landscape populated with plants native and indigenous to the site;
- Contributes to local biodiversity, green corridors and wildlife habitat by radically increasing the biomass and diversity of the site;
- Provides sufficient soil depths and planter box dimensions to enable trees to be grown over podiums including the provision of deeper soil zones on, under and at the edges of the podium structure; and
- Creates a robust landscape made from simple materials, proven planting and bold forms that can be managed and maintained.

Landscape Types

The proposed landscape Design has been integrated into the development's fabric and expresses itself in three main landscape types: the civic plaza, podium, and communal rooftop spaces on structure. Each of these can be further described as follows:

Civic Plaza

The civic plaza will be an intimate hard and soft space that creates an interface between the edge of the Stage 1 buildings and the adjacent street. It is a linking space, allowing pedestrian connections to and from Hall Street, the carpark, residential lobby and ground floor retail. The plaza links to Aspen Street and will facilitate future connections to the north. The plaza will be characterised by strong spatial containment punctuated by advanced tree planting. The paving design provides a way to transition between the language of the Hall Street paving (by Council) and the language of the plaza, which will be made from sampling the diverse and textured materials that can be seen within the Moonee Ponds site.

Podium Landscape

The podium level will be a space for passive communal and individual recreation and use. To inform the design of the podium landscape, a programmatic banding approach was adopted. Using alternating programs of respite, dining and active, the ideal residential background was created. The podium landscape provides areas of tranquility, areas of active recreation and outdoor dining facilities, whilst surrounded by lush greenery. The spaces on the podium are flexible and available for multiple uses and social interaction. The landscape plant palette has been carefully selected to provide smaller spaces amongst the larger spaces. The predominantly flat nature of the podium is broken through the inclusion of advanced trees in deeper soil.

Roof-top Gardens

There are two roof-top communal spaces proposed on Level 4 of the Hall Street building and Level 6 of the Margaret Street building. Both communal spaces have been designed to provide a highly activated space for residents. Level 4 (Hall Street) has been dining facilities, lounges and an open air cinema, whilst Level 6 (Margaret Street) has pods which has all the comforts of home and provide views back towards the city and over Moonee Ponds. Spa facilities have also been incorporated on this level. The communal areas offer a dynamic space for residents to make their own.

Hall Street & Margaret Street, Moonee Ponds

Principles

Bold Planting

- + Ensure podium planting selections are robust, suited to the available aspect, will work with ambient wind levels and will minimise water use;
- + Considers shade and wind protection by providing shrubs and small trees;
- + Explore planting palettes that create difference and variety through application in private and semi-private gardens that lend their amenity to the public realm;
- + To create a unique and exemplary expression of the integration of building and landscape;
- + Establish the podium and streetscape as a diverse green space;
- + Incorporate planting, soil volume and irrigation within the constraints of the podium edge and interface with private open space;
- + Use landscape elegantly to create identity and maximise amenity for residents and users of the project.

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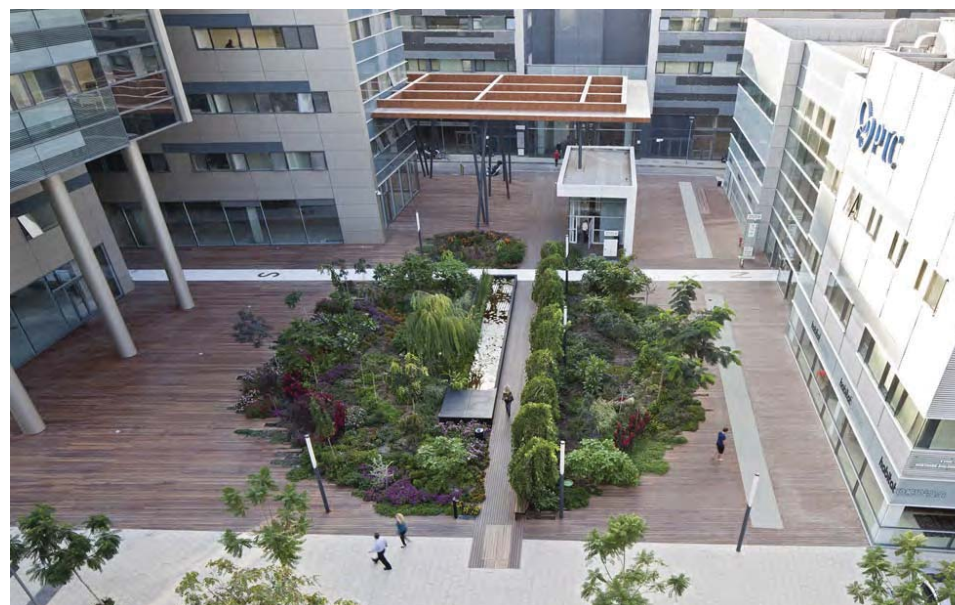
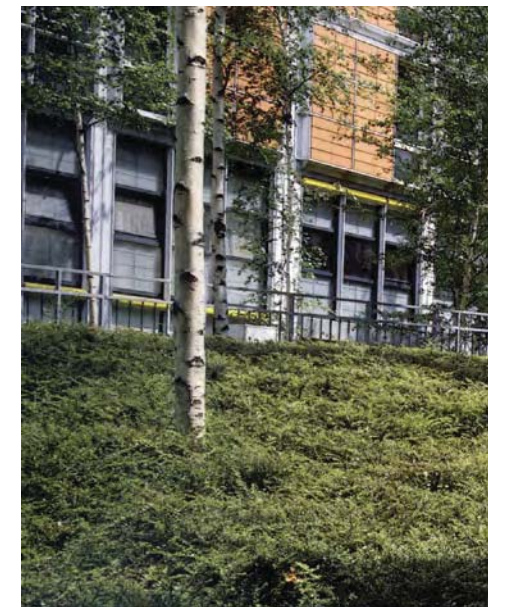
Hall Street & Margaret Street, Moonee Ponds

Principles

Places for Occupation

- + Design external spaces to encourage use, dwelling and occupation;
- + Ensure that communal open spaces have access to the sun light whilst also providing adequate shelter and wind protection;
- + Ensure adequate provision of seating;
- + Maximise opportunities for social interaction through arrangement of seating and views;
- + Provide a mix of communal and semi-private spaces that accommodate use groups as well as individuals;
- + Design the project streetscape as a high-amenity urban place with robust street trees and frames for climbing plants;
- + Celebrate key views to and from the project;
- + Provide clear and integrated access for all abilities;
- + Make boundaries and interfaces green, verdant and alive.

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Hall Street & Margaret Street, Moonee Ponds

Landscape Master Plan Scale 1:700@A3

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Hall Street & Margaret Street, Moonee Ponds

Landscape Master Plan Legend

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Private Amenities

- 1

MASS PLANTING BANDS

Dense mass planting beds encase the residences to mitigate noise and create a stronger sense of privacy for residents in the ground floor tenancies.
- 2

MOUNDED LAWN

An elevated turfed mound for residents to occupy.
- 3

POOL AMENITIES

A heated 25 metre x 3.5 metre pool is provided for residents. Creating both an indoor and outdoor application allow the facilities to be used all year round. Locating the pool facilities on the ground floor provides an attractive prospect for residents in the upper floors of the development.
- 4

PERGOLA / BARBECUE AMENITIES

A covered barbecue area for residents to utilise in all weather conditions.
- 5

PRODUCE GARDENS

A dedicated space for a variety of hardy produce. The gardens encourages community ownership and occupation, overtime residents will plant and tend to their own variety of produce to suit their needs.
- 6

REFLECTION POOL

A small 200mm deep reflection pool to establish a quiet contemplative and intimate space for residents. The ambient noise of trickling water will also benefit the surrounding tenancies to help mitigate the noise from the activated bands within the garden.
- 7

URBAN GROVE

A grid of established trees placed in a regular formation establishes a sheltered and shaded area for residents to occupy and activate. Hammocks are randomly hung between the trees and a life size chess board is set up ready for residents.
- 8

MULTI USE COURT FACILITIES

This standard sized volley ball court, overlaid with badminton courts, provide a space for residents to escape and kick a ball around or have formalised sporting activities.
- 9

MARGARET STREET GREENING

Greening opportunities at the base of the Margaret Street development to help soften the street experience and create privacy for the ground floor tenancies.

Public Amenities

- 10

TURF MOUNDS

To ensure the urban plaza is a usable space for the public turf mounds have be installed to create a dramatic edge. The raised turf mounds offer a variety of uses for the public - lounging, potential playground opportunities and an ampitheatre to facilitate the stage and community facility.
- 11

URBAN PLAZA

Characterised by the existing Moonee Ponds material palette the urban plaza incorporates a patchwork of surfaces;

 - + Sawn faced bluestone cobbles to denote shared zones;
 - + Insitu concrete paving patterns with exposed aggregate to transition between Hall Street and Homer Street into the Urban Plaza;
 - + Precast concrete paver bands;
 - + Asphalt paving; and
 - + A public stage.

Plaza Principles:

Provide a strong north-south alignment and grain to potentially create a link to Aspen Street with a future link to Homer Street.

Referencing the sites existing paving materials , the proposed materiality uses difference materials to create a richly textured and unique ground plane.

Utilise Moonee Valley City Council standard furniture items such as bike racks and timber benches.
- 12

RAISED PLANTER BEDS

Specimen trees are placed in raised planter beds with an incorporated brick seating edge to allow for informal seating.
- 13

HALL STREET

New paving and street trees along Hall Street.

Hall Street & Margaret Street, Moonee Ponds Program

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Respite
Programmatic Banding



Dining
Programmatic Banding



Active
Programmatic Banding



Hall Street & Margaret Street, Moonee Ponds Program

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Elements

Breakout Spaces for Residents



Urban Plaza

Civic Space for the Public



Community

Playground and Community Hub



Hall Street & Margaret Street, Moonee Ponds

Hall Street Level 4 Scale 1:200@A3

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Hall Street & Margaret Street, Moonee Ponds

Margaret Street Level 4 Scale 1:200@A3

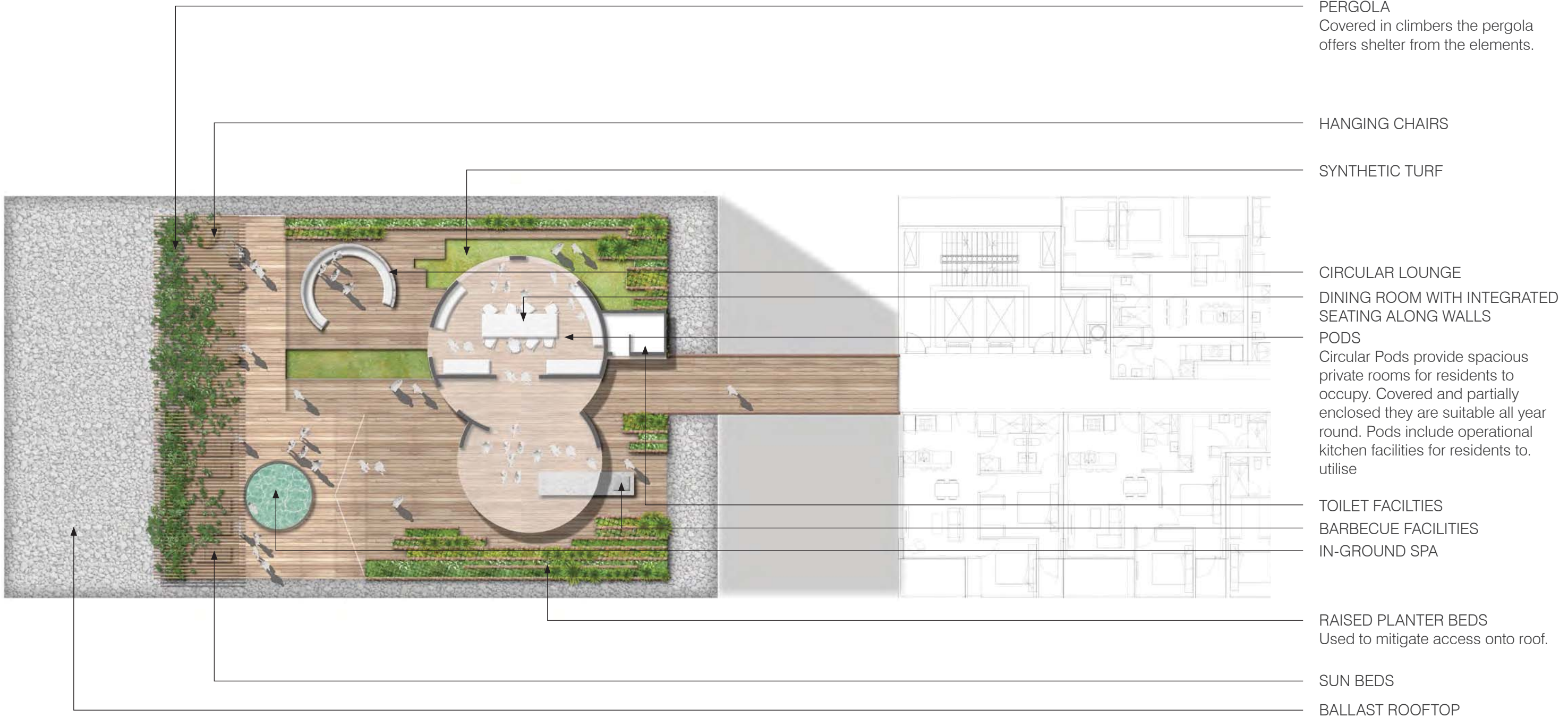
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Hall Street & Margaret Street, Moonee Ponds

Margaret Street Level 6 Scale 1:200@A3

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Hall Street & Margaret Street, Moonee Ponds

Planting Design Response

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Planting On Slab & Podium

We understand that a key factor in the success of planting on structure is the provision of the appropriate volume of soil to enable the retention of moisture and nutrients required for growth. The design makes allowances for these volumes through slab set-downs, built-up areas of soil and raised planters. Achievable depths include 1,000mm for trees, 500mm for shrubs and 300mm for lawns. All planted areas will include sub-surface drainage outlets to storm water and drainage cell on screed. With the exception of productive gardens, all works in communal areas will be automatically irrigated and maintained by arrangement with the owners corporation.

Water Sensitive Urban Design (WSUD)

Water cycle management has been integrated into the proposed development to improve the quality of water discharge to the natural environment. WSUD initiatives include:

- + Roof water will be collected and re-used for irrigation of the landscape.
- + On site detention will reduce run-off and peak flows.
- + Low flow falls will be directed to tree pits and planting alongside paths and hard surfaces;
- + Organic mulch is proposed to retain soil moisture;

Scale and Integration

Trees and landscape are proposed for integration within the fabric of the development to compliment, soften and frame the built form and façades, ensuring that the visual impact to adjacent existing uses is appropriate. Street trees play a particularly important role in blending new development into the streetscape, provide a transition and integrate buildings with landscape. The legacy of the landscape proposal will be increased canopy cover to the site and a human scale to the development in open spaces and pedestrian areas. Tree species selection will allow for this greening while maintaining visual surveillance of the street and active street frontages.

All proposed trees are super advanced size (75-100 litre container size).

Planting Design

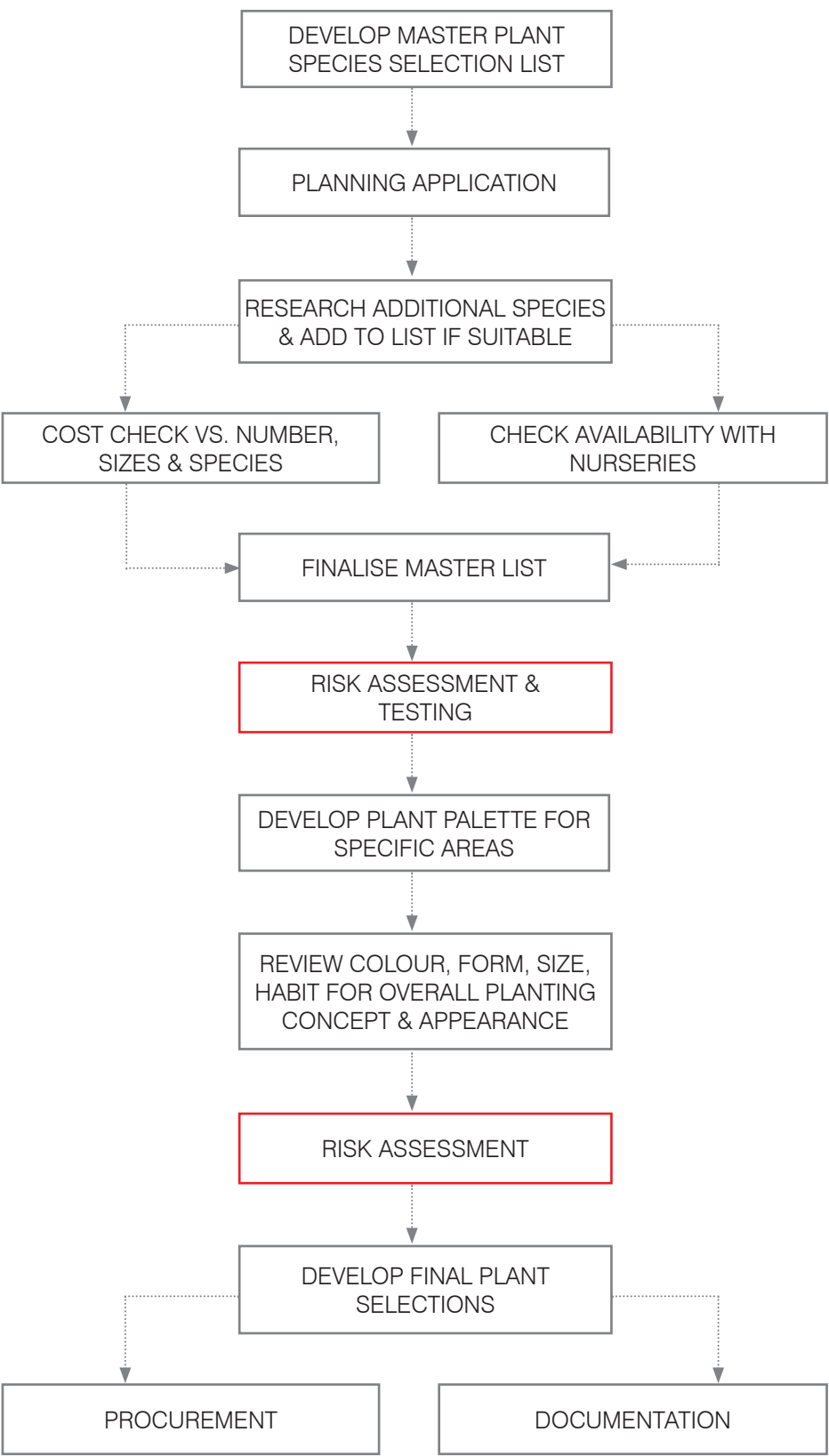
The planting scheme uses a predominantly native and indigenous palette chosen for their sculptural characteristics. Planting is intended to:

- + Establish the podium and streetscape as a robust green space;
- + Incorporate soil volume and irrigation within the constraints of the podium edge and interface with private open space;
- + Use landscape elegantly to create identity and maximise amenity for residents and users of the precinct; and
- + Be robust, suited to the available aspect, will work with ambient wind levels and will minimise water use.

Designed Maintenance

The maintenance needs of any landscape are absolutely tied to the resolution of the design at planning level. This proposal attempts to negotiate the desire for a verdant planted areas with the need to ensure that these plantings have longevity within a low-maintenance environment. The proposal includes:

- + A strong palette of proven performing plants which are tolerant of low-water conditions and limited light;
- + A planting palette that utilises several species for each application ensuring seasonal change as well a consistent level of amenity should one of the species under perform;
- + Small scale mass planting within a well-designed suite of hard scape elements ensuring that the failure of an individual specimen will be contained, permitting delayed maintenance;
- + Allowance for irrigation and maintenance of all communal spaces by the owners corporation.



Plant species selection process

Hall Street & Margaret Street, Moonee Ponds

Planting Palette

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Trees

Species	Common Name	Height	Spread
<i>Cupaniopsis anacardioides</i>	Tuckeroo	8.0m	5.0m
<i>Eucalyptus caesia</i>	Silver Princess	6.0m	3.0m
<i>Eucalyptus cinerea</i>	Argyle Apple	7.0m	6.0m
<i>Eucalyptus leucoxylon</i>	Yellow Gum	5.0m	5.0m
<i>Fraxinus griffithii</i>	Evergreen Ash	5.0m	5.0m
<i>Robinia pseudoacacia</i>	Honey Locust	7.0m	5.0m
<i>Schinus molle</i>	Peppercorn Tree	7.0m	6.0m
<i>Tristaniopsis laurina</i>	Water Gum	6.0m	4.0m



Climbers

Species	Common Name	Height	Spread
<i>Hardenbergia violacea</i>	False Sarsparilla	2.0m	3.0m
<i>Pandorea jasminoides</i>	Bower of Beauty	2.0m	3.0m
<i>Trachelospermum jasm.</i>	Chinese Star Jasmine	2.0m	3.0m



Hall Street & Margaret Street, Moonee Ponds

Planting Palette

Shrubs

Species	Common Name	Height	Spread
<i>Callistemon 'Anzac'</i>	-	1.0m	2.0m
<i>Correa alba</i>	-	1.0m	1.0m
<i>Eriostemon 'Profusion'</i>	Wax flower	1.0m	1.0m
<i>Grevillea 'Honey Gem'</i>	-	3.0m	3.0m
<i>Grevillea 'Moonlight'</i>	-	2.0m	2.0m
<i>Leptospermum 'Cardwell'</i>	-	1.5m	1.5m
<i>Prostanthera 'Ballerina'</i>	-	2.0m	2.0m
<i>Rosmarinus officinalis</i>	Rosemary	1.0m	1.0m
<i>Westringia fruticosa</i>	Coastal Rosemary	1.0m	1.0m



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Hall Street & Margaret Street, Moonee Ponds

Planting Palette

Grasses & Groundcovers

Species	Common Name	Height	Spread
<i>Ajuga reptans</i>	Carpet Bugle	0.2m	0.5m
<i>Brachyscome multifida</i>	Native Field Daisy	0.4m	0.6m
<i>Carpobrotus glaucescens</i>	Pig Face	0.3m	0.6m
<i>Convolvulus mauritanicus</i>	Moroccan Glory Bind	0.3m	0.1m
<i>Cuphea hyssopifolia</i>	-	0.3m	0.6m
<i>Dianella caerulea</i>	Flax Lily	0.4m	0.4m
<i>Dianella revoluta</i>	Flax Lily	0.4m	0.4m
<i>Dianella 'Little Rev'</i>	Flax Lily	0.4m	0.4m
<i>Dietes grandiflora</i>	Wild Iris	0.4m	0.4m
<i>Liriope muscari</i>	Lily Turf	0.4m	0.4m
<i>Lomandra longifolia</i>	Mat Rush	1.0m	0.6m
<i>Scaevola aemula</i>	Fairy Fan Flower	0.3m	0.1m



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Hall Street & Margaret Street, Moonee Ponds

Material Palette

A suite of hard landscape materials have been selected to provide a robust and long lasting finish that will provide a quality exterior setting for the project and its wider site. Material choices privilege natural and integral materials such as concrete, timber and steel that do not require unnecessary amounts of repainting and upkeep.

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