Proposed 5 Dwellings

72 Nimmo Street, Essendon VIC 3040

Drawings

No	Rev	Drawing
TP 00		Perspective Views, Notes, Areas
TP 01		Site & Ground Floor Plan
TP 02		First Floor
TP 03		Roof Plan & WSUD Legend
TP 04		Elevations
TP 05		Shadow Diagrams
TP 06		Traffic Diagrams

General Notes

TN.1 THE DEVELOPMENT AS SHOWN ON THESE PLANS MUST NOT BE ALTERED UNLESS WITH THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY.

TN.2 THESE DRAWINGS ARE TO BE USED FOR PLANNING & BUILDING PERMIT PURPOSES ONLY. PRIOR TO COMMENCING WORK A BUILDING PERMIT MUST BE ISSUED FROM THE RELEVANT BUILDING SURVEYOR.

ACCESS, POINT OF EGRESS/INGRESS IS TO BE CONSIDERED AND THE DETERMINATION OF THE DRAINAGE REQUIRED TO ENSURE THAT NO SURFACE RUN OFF TO ADJOINING PROPERTIES IS AVOIDED.

TN.3 ANY PLUMBING PIPE, EXCEPTING A FLAT EQUIPMENT MUST BE CONCEALED FROM EXTERNAL VIEWS. THIS DOES NOT INCLUDE EXTERNAL GUTTERING OR ACCEPTED DOWNPIPES.

TN.4 HEATING UNITS ARE LOCATED BEHIND ROOF SPACES. ANCILLARY EQUIPMENT (NOTE), IF ANY, MUST BE CONCEALED FROM THE STREET VIEW.

TN.5 A MAILBOX CONFORMING TO AUSTRALIAN POST MUST BE PROVIDED TO EACH PREMISES AT THE STREET FRONTAGE. THE MAILBOX DIMENSIONS, LOCATION AND HEIGHT MUST BE CONSISTENT WITH THE REQUIREMENTS OF AUSTRALIA POST.

Areas (for Town Planning and Building Permit purposes only)

SITE AREA	m2	1011.0				
NUMBER OF DWELLINGS	No	5				
SITE COVERAGE	%	69.0%	<60%			
Permeability	%	23.4%	>20%			
Density 1 Dwelling	m2	202.364				
Dwelling No		1	2	3	4	5
GF LIVING AREA	m2	67.1	70.1	62.8	62.3	62.3
FF LIVING AREA	m2	63.0	62.6	70.6	53.0	62.3
TF LIVING AREA	m2	0.0	0.0	0.0	0.0	0.0
Total Living Area	m2	130.0	132.7	133.3	115.3	124.6
Garage	m2	20.1	42.5	44.8	33.4	22.4
Total (living + garage)	m2	150.1	175.2	178.3	148.8	147.2
Porch	m2	7.0	8.0	1.6	2.8	2.8
Balcony/Pt	m2	0.0	0.0	0.0	0.0	16.7
TOTAL ROOF GROSS AREA	m2	160.0	187.2	182.0	151.7	166.4
Private Open Space (site coverage)	m2	106.3	171.8	82.1	66.4	85.7
Secluded Private Open Space	m2	34.0	37.8	38.1	8.3	19.7

rev	date	description

Town Planning	drawing: Perspective Views, Notes, Areas		
No of Sheets 7	drawn DSP	approx. scale n/a	date printed 13/06/2016

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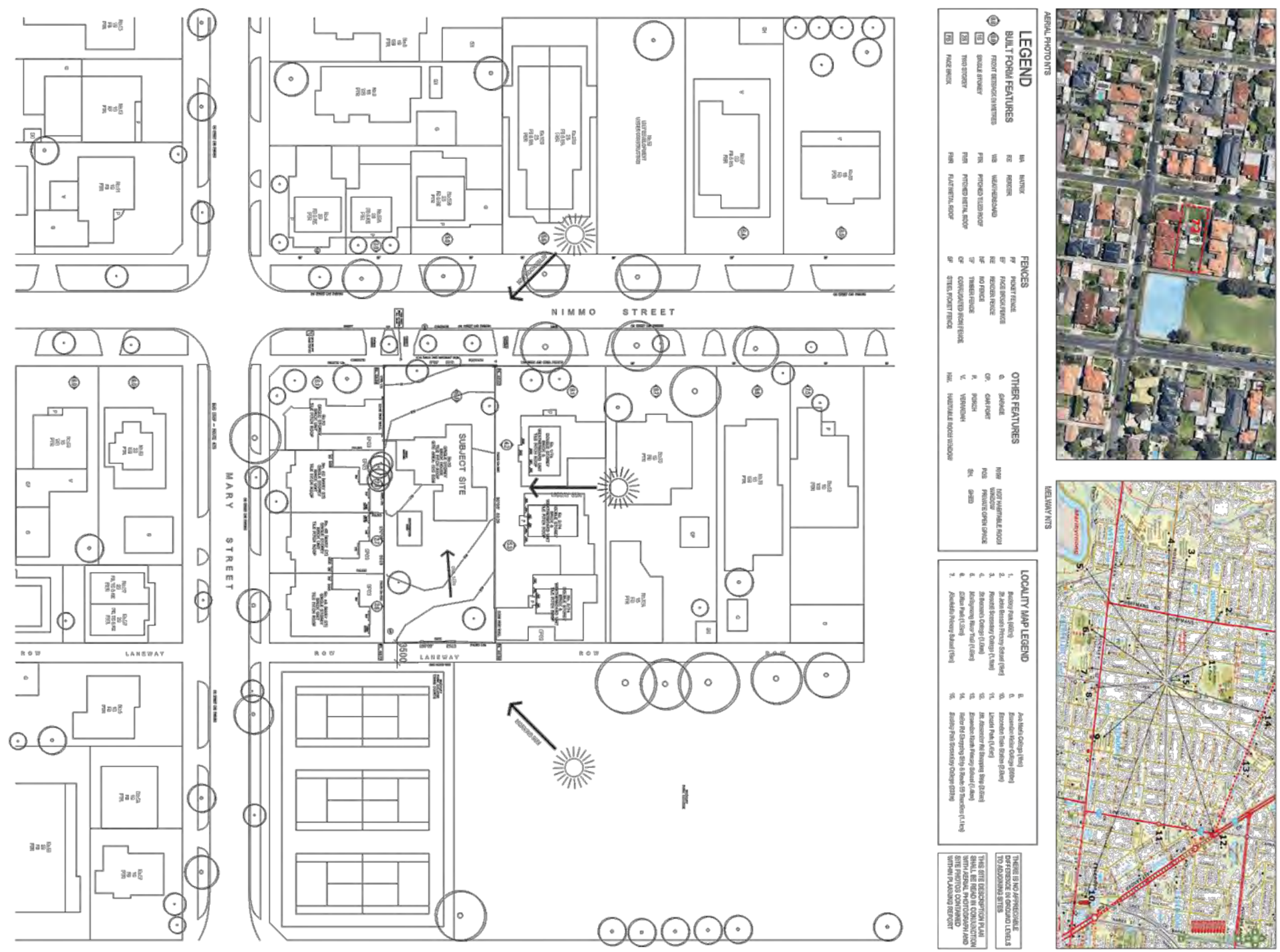
Vic Planning Permit Professionals
A.B.N. 51 612 483 [illegible]

project:
Proposed 5 Dwellings
72 Nimmo Street,
Essendon VIC 3040

job no. 1204
drg no. TP 00
rev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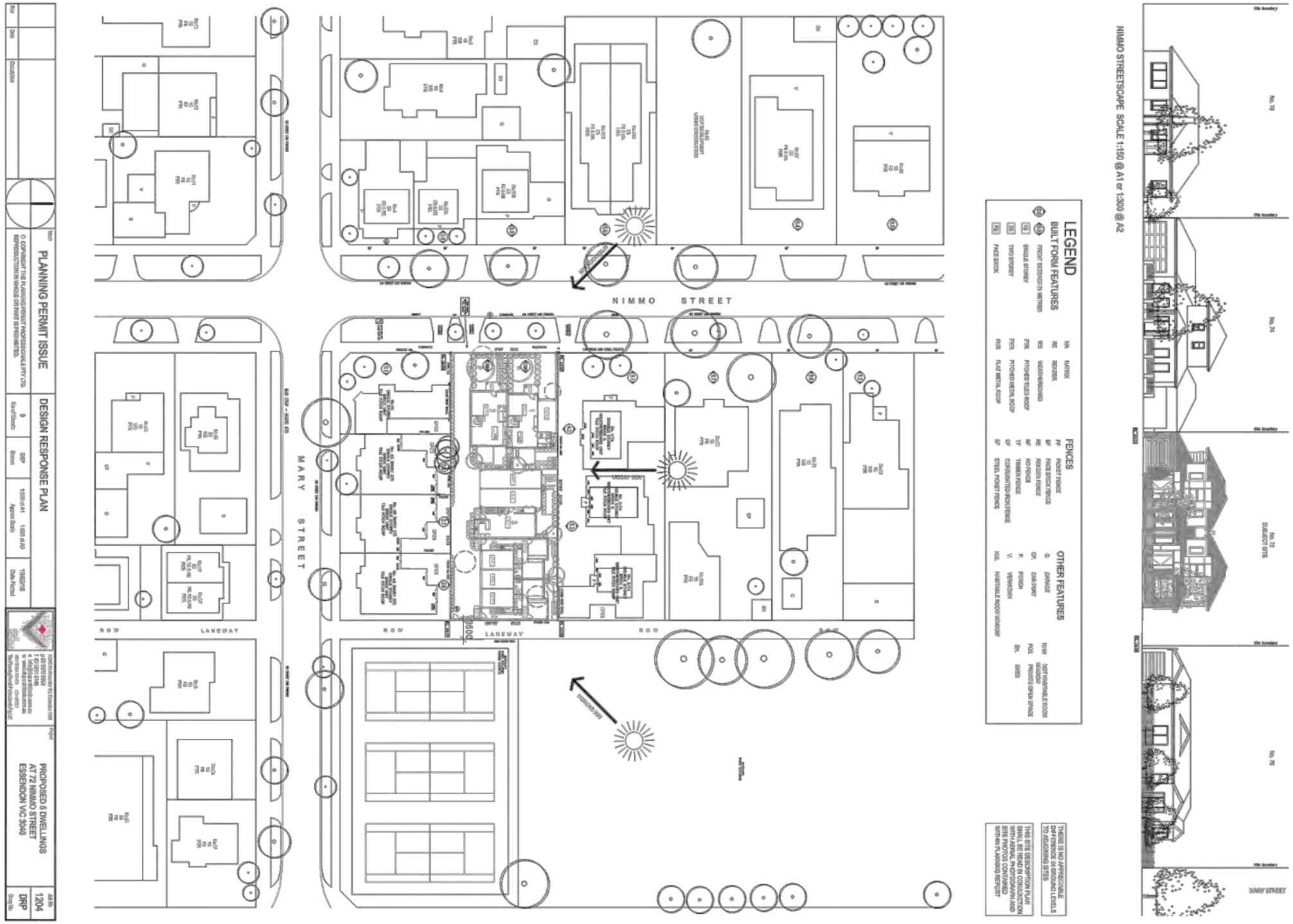
MARY STREET
SUBJECT SITE
ROW
LANEWAY
LEGEND
BUILT FORM FEATURES
FENCES
OTHER FEATURES
LOCALITY MAP LEGEND
AERIAL PHOTO NTS
MELWAY NTS
THERE IS NO APPRECIABLE DIFFERENCE IN GROUND LEVELS TO ADJOINING SITES
THIS SITE DESCRIPTION PLAN SHALL BE READ IN CONJUNCTION WITH AERIAL PHOTOGRAPH AND SITE PHOTOS CONTAINED WITHIN PLANNING REPORT
PLANNING PERMIT ISSUE
NEIGHBOURHOOD & SITE DESCRIPTION PLAN
PROPOSED 5 DWELLINGS
AT 72 NIMMO STREET
ESSENDON VIC 3040
1204
NSD


NIMMO STREETSCAPE SCALE 1:150 @ A1 or 1:300 @ A2
No. 70
No. 74
No. 72
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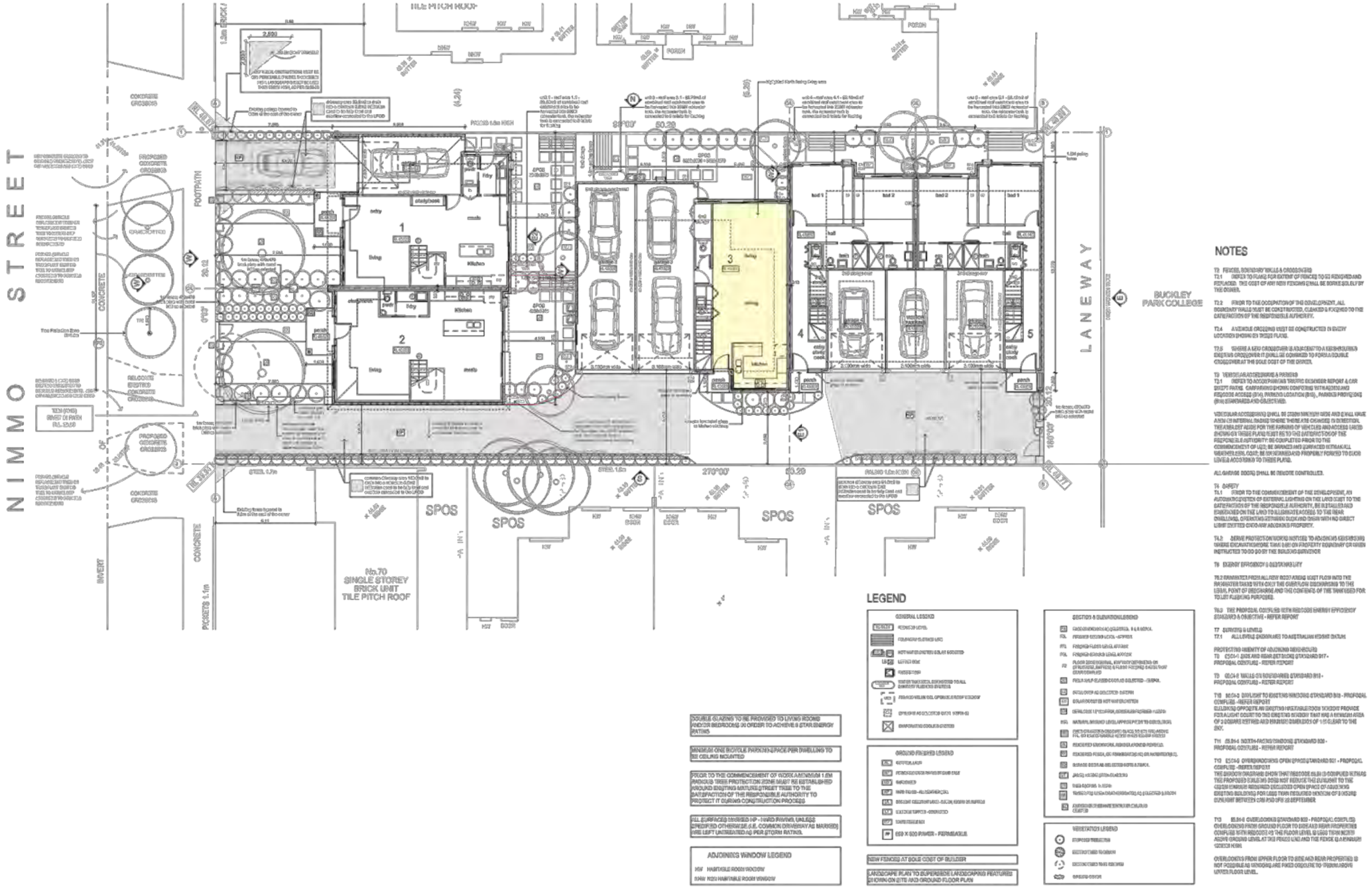
MARY STREET
NIMMO STREET
MARY STREET
ROW
LANEWAY
ROW
LANEWAY
ROW
LEGEND
BUILT FORM FEATURES
FENCES
OTHER FEATURES
THERE IS NO APPRECIABLE DIFFERENCE IN GROUND LEVELS TO ADJOINING SITES
THIS SITE DESCRIPTION PLAN SHALL BE READ IN CONJUNCTION WITH AERIAL PHOTOGRAPH AND SITE PHOTOS CONTAINED WITHIN PLANNING REPORT
PLANNING PERMIT ISSUE
DESIGN RESPONSE PLAN
PROPOSED 5 DWELLINGS
AT 72 NIMMO STREET
ESSENDON VIC 3040
1204
DRP



rev	date	description

Town Planning

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drawing: Site & Ground Floor Plan

No of Sheets	drawn	approx. scale		date printed
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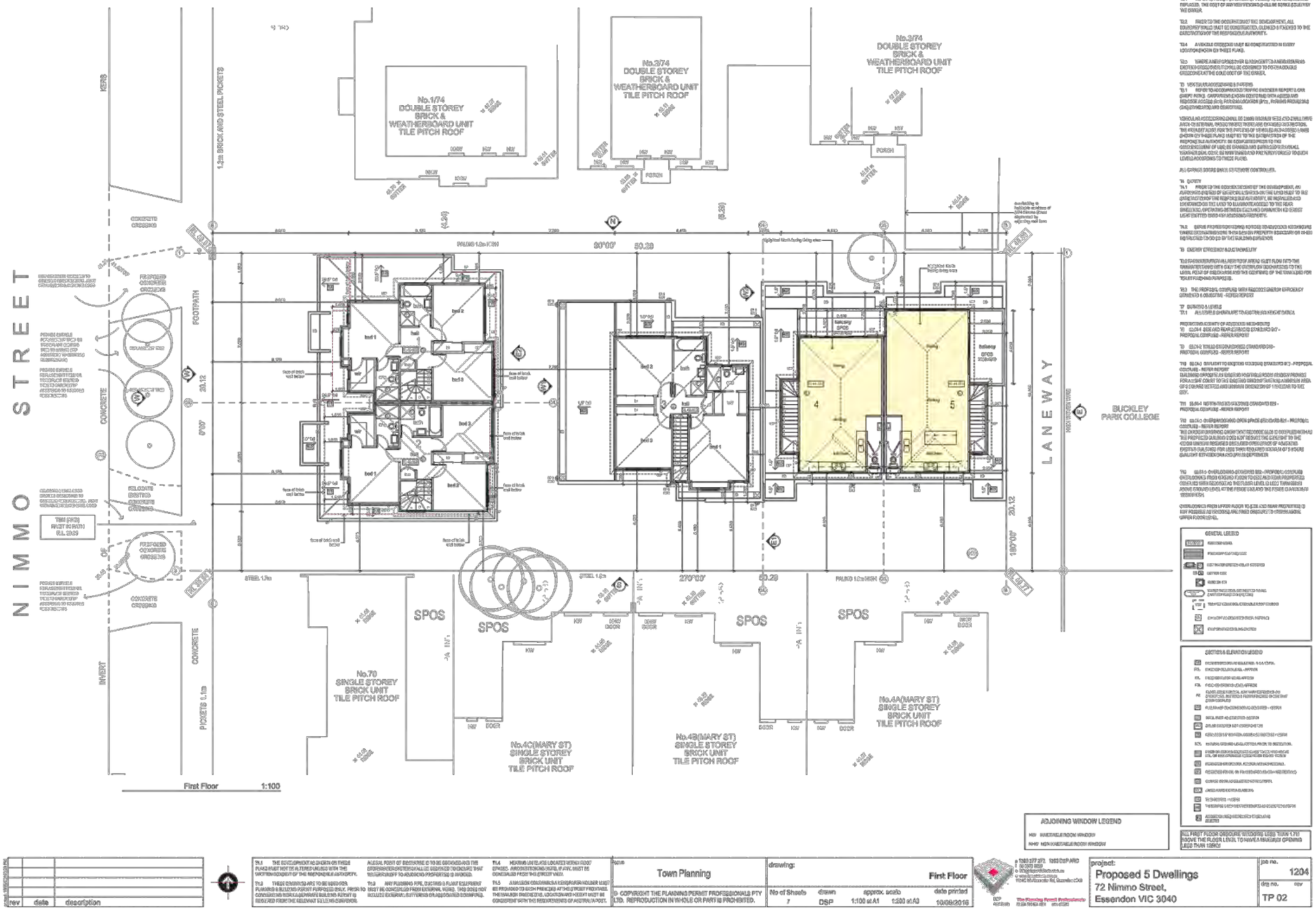
project:
Proposed 5 Dwellings
72 Nimmo Street,
Essendon VIC 3040

job no. 1204
drg no. TP 01 rev


NIMMO STREET
LANEWAY
BUCKLEY PARK COLLEGE
No.1/74 DOUBLE STOREY BRICK & WEATHERBOARD UNIT TILE PITCH ROOF
No.2/74 DOUBLE STOREY BRICK & WEATHERBOARD UNIT TILE PITCH ROOF
No.3/74 DOUBLE STOREY BRICK & WEATHERBOARD UNIT TILE PITCH ROOF
No.70 SINGLE STOREY BRICK UNIT TILE PITCH ROOF
No.4C(MARY ST) SINGLE STOREY BRICK UNIT TILE PITCH ROOF
No.4B(MARY ST) SINGLE STOREY BRICK UNIT TILE PITCH ROOF
No.4A(MARY ST) SINGLE STOREY BRICK UNIT TILE PITCH ROOF
SPOS
PORCH
FOOTPATH
CONCRETE
INVERT
PICKETS 1.1m
STEEL 1.8m
1.2m BRICK AND STEEL PICKETS
90°00'
270°00'
180°00'
First Floor 1:100
GENERAL LEGEND
SECTION & ELEVATION LEGEND
ADJOINING WINDOW LEGEND
HW HIGH SILL/FIXED WINDOW
NHW NON HIGH SILL/FIXED WINDOW
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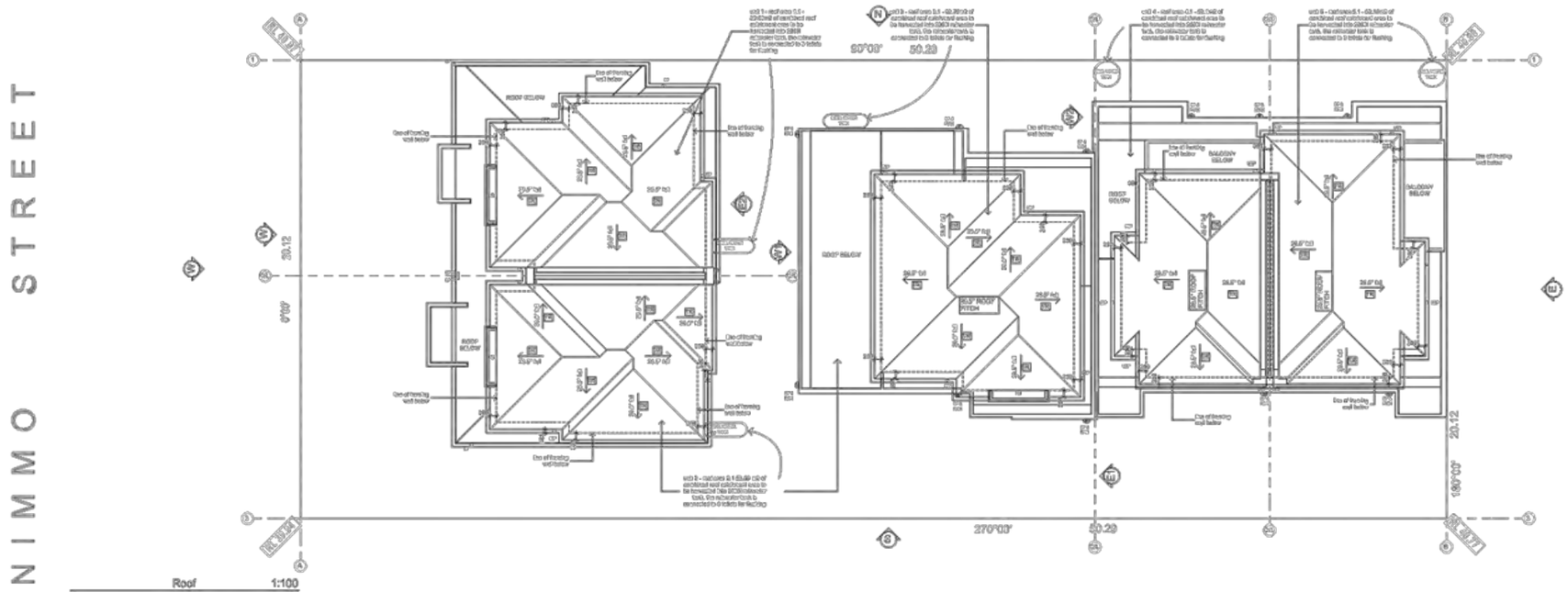
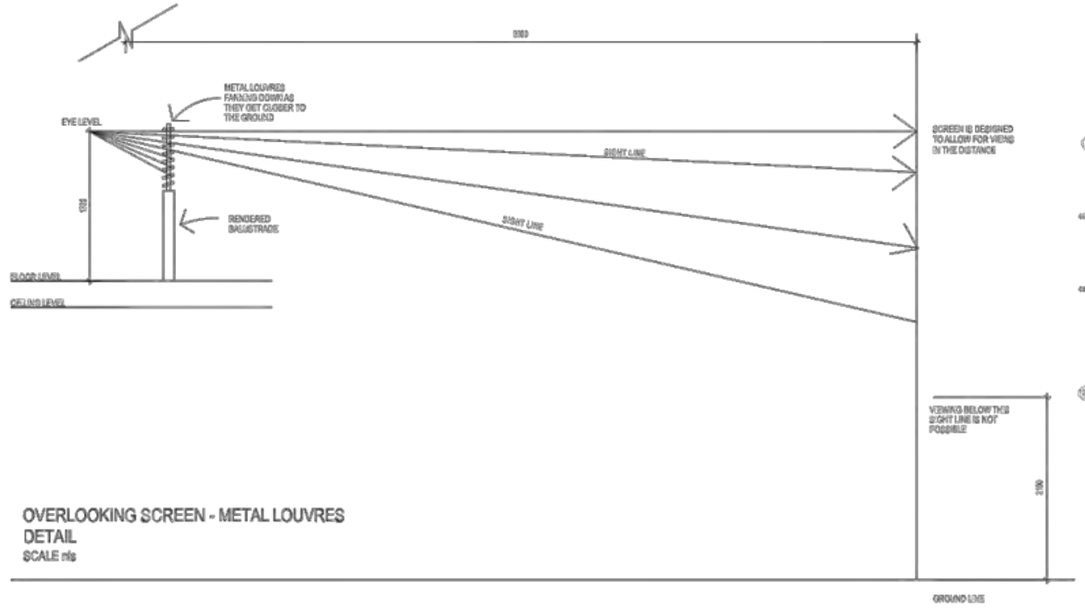
drawing: First Floor
No of Sheets 7
drawn DSP
approx. scale 1:100 at A1 1:200 at A3
date printed 19/09/2016
project: Proposed 5 Dwellings
72 Nimmo Street,
Essendon VIC 3040
job no. 1204
drg no. TP 02
rev date description





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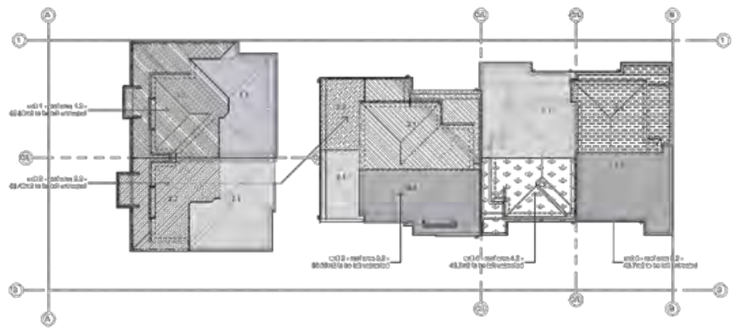
SCALE n/s



WSUD ROOF LEGEND 1:200

HEATING UNITS ARE TO BE LOCATED IN ROOF SPACE

ALL FIRST FLOOR WINDOWS LESS THAN 1.7M ABOVE THE FLOOR LEVEL TO HAVE A MAXIMUM OPENING LESS THAN 125MM

rev	date	description

issue: Town Planning

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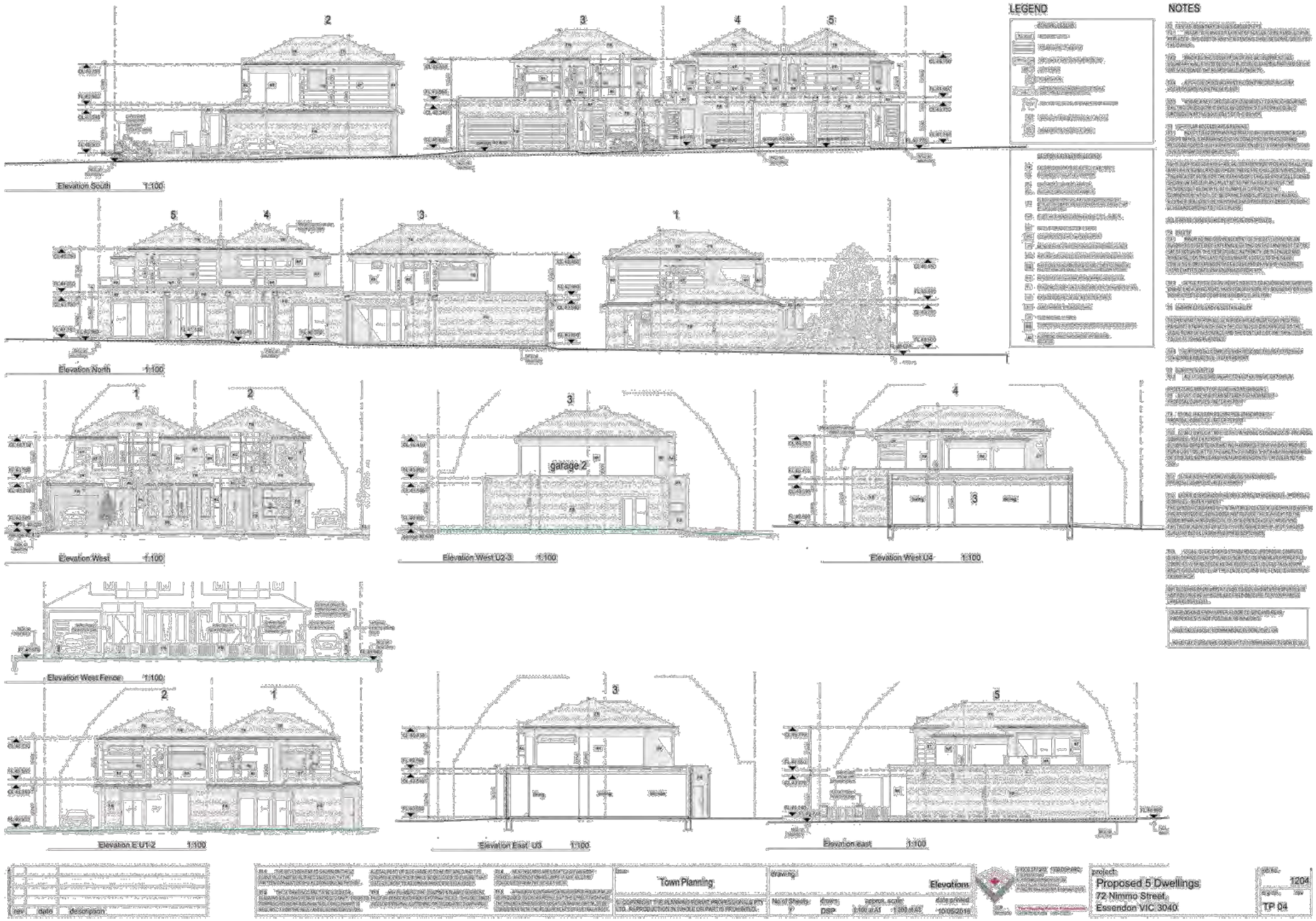
drawing: Roof Plan, WSUD Legend & Overlooking Screen

No of Sheets	drawn	approx. scale		date printed
7	DSP	1:100 at A1	1:200 at A3	12/09/2016

project: Proposed 5 Dwellings
72 Nimmo Street,
Essendon VIC 3040

job no. 1204
drg no. TP 03 rev


LEGEND
NOTES
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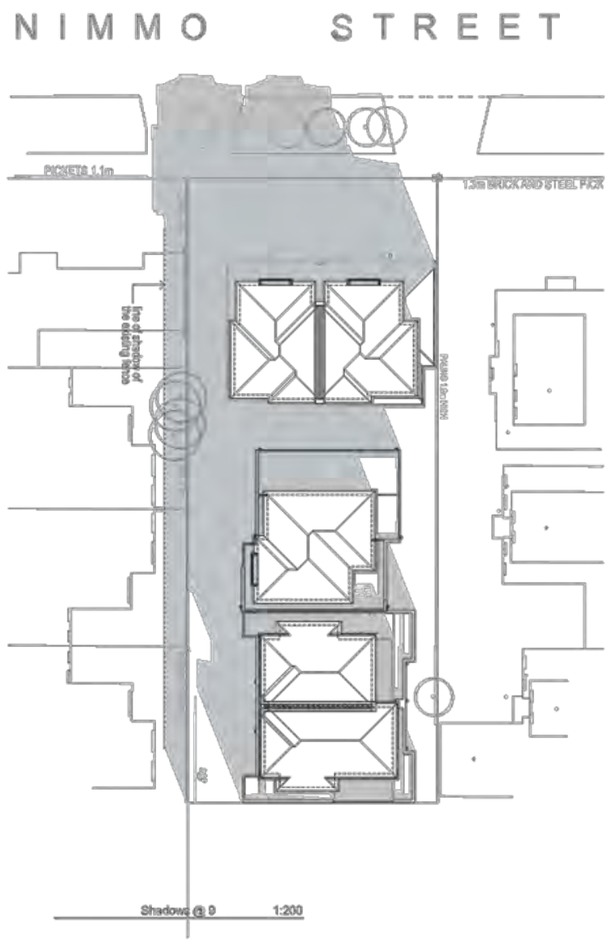
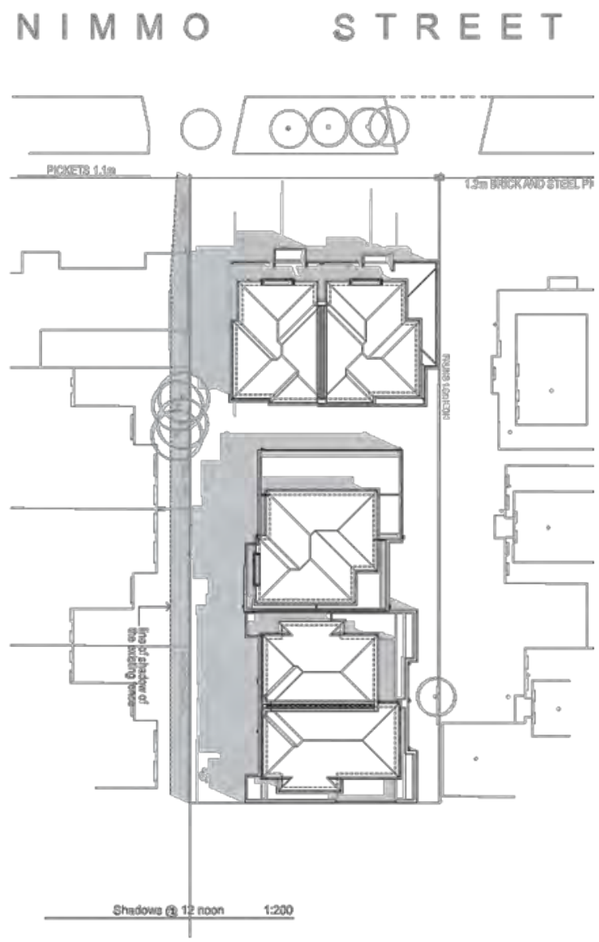
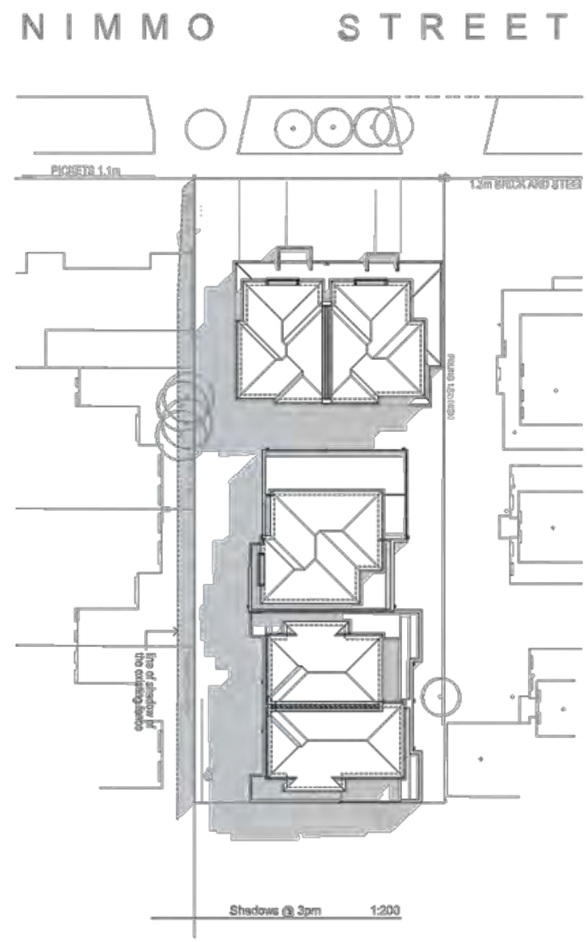
Elevation North 1:100
Elevation West 1:100
Elevation West U2-3 1:100
Elevation West U4 1:100
Elevation West Fence 1:100
Elevation E U1-2 1:100
Elevation East U3 1:100
Elevation east 1:100
garage 2
Town Planning
Elevations
DSP
Proposed 5 Dwellings
72 Nimmo Street,
Essendon VIC 3040
TP 04
1204







THE SHADOW DIAGRAMS SHOW THAT REGCODE CLAUSE 55.04-5 STANDARD B21 IS COMPLIED WITH AS THE PROPOSED BUILDINGS DO NOT REDUCE THE SUNLIGHT TO THE ADJOINING SECLUDED PRIVATE OPEN SPACE.

THE SHADOW DIAGRAMS SHOW THAT REGCODE 55.05 IS COMPLIED WITH AS THE PROPOSED BUILDING DOES NOT REDUCE THE SUNLIGHT TO THE 40SQM MINIMUM REQUIRED SECLUDED OPEN SPACE OF ADJOINING EXISTING BUILDING FOR LESS THAN REQUIRED MINIMUM OF 9 HOURS SUNLIGHT BETWEEN 9AM AND 3PM 22 SEPTEMBER

rev	date	description
B	15.05.2015.	shadows @ 9: carlight area and sales added
A	10.05.2015.	dwelling 3 roof amended, dwelling 2 daylight added

TN.1 THE DEVELOPMENT AS SHOWN ON THESE PLANS MUST NOT BE ALTERED UNLESS WITH THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY.

TN.2 THESE DRAWINGS ARE TO BE USED FOR PLANNING & BUILDING PERMIT PURPOSES ONLY. PRIOR TO COMMENCING WORK ALL PLANNING & BUILDING PERMIT IS REQUIRED FROM THE RELEVANT BUILDING SURVEYOR.

ALL SEAL POINT OF DISCHARGE IS TO BE DEVELOPED AND THE STORMWATER DRAINAGE SYSTEM IS TO BE DESIGNED TO ENSURE THAT NO SURCHARGE TO ADJOINING PROPERTIES IS INVOKED.

TN.3 ANY PLUMBING PIPE, EXISTING & PLANT EQUIPMENT MUST BE CONCEALED FROM EXTERNAL VIEWS. THIS DOES NOT INCLUDE EXTERNAL GUTTERING OR ADJOINING DOWNPIPES.

TN.4 HEATING UNITS ARE LOCATED WITHIN ROOF SPACES. AIRCONDITIONING UNITS, IF ANY, MUST BE CONCEALED FROM THE STREET VIEW.

TN.5 A MAILBOX CONSISTING OF A KERBSIDE HOLDER MUST BE PROVIDED TO EACH PREMISES ATTHE STREET FRONTAGE. THE SIGNAGE ON THE SITE, LOCATION AND HEIGHT MUST BE CONSISTENT WITH THE REQUIREMENTS OF AUSTRALIA POST.

scale: Town Planning

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drawing: Shadow Diagrams

No of Sheets	drawn	approx. scale		date printed
7	DSP	1:100 at A1	1:200 at A3	10/06/2016

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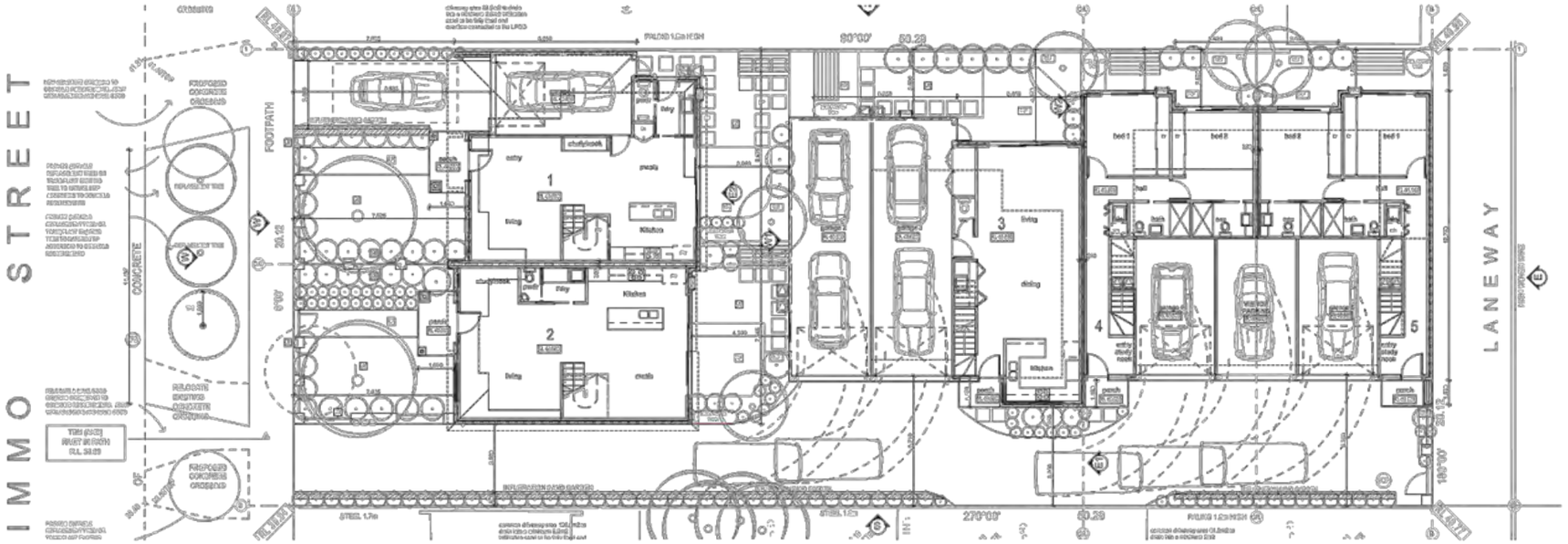
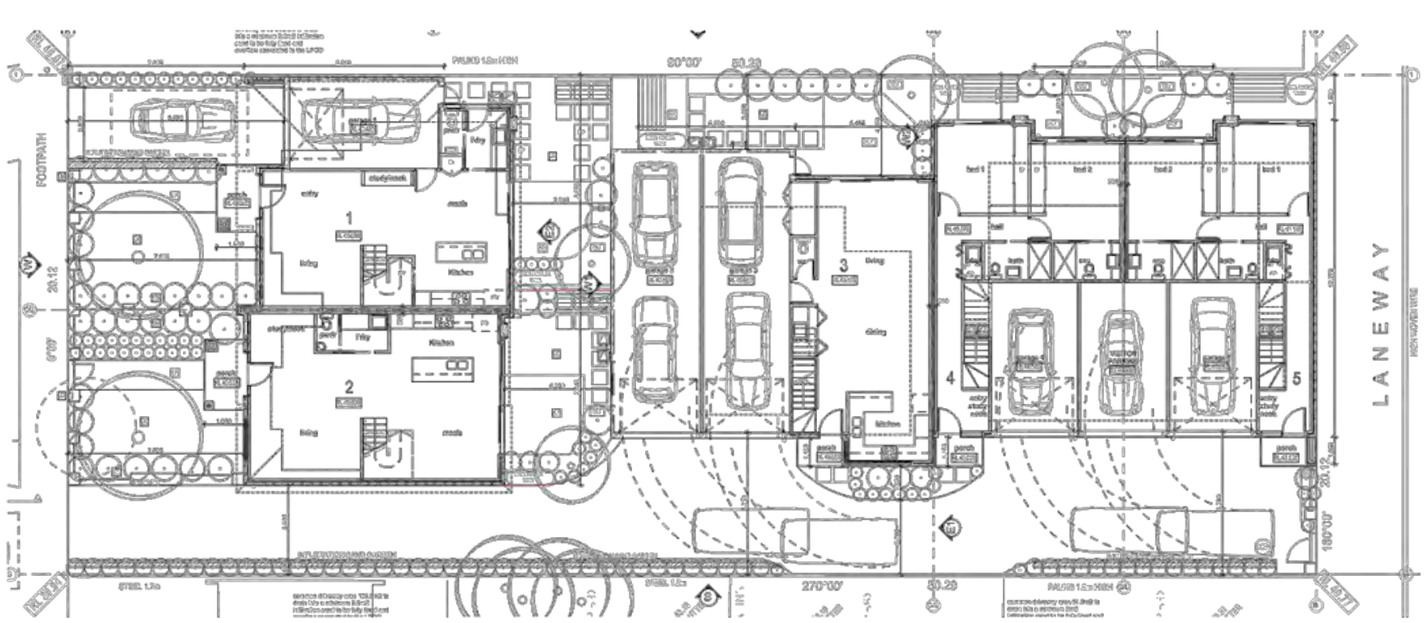
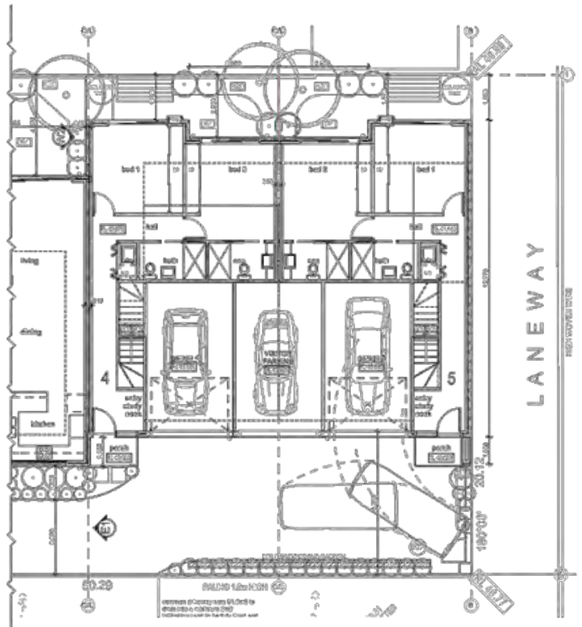
The Planning Permit Professionals
ABN 67 154 514 489 ARN 47280

project: Proposed 5 Dwellings
72 Nimmo Street,
Essendon VIC 3040

job no. 1204
drg no. TP 05
rev







rev	date	description

TN.1 THE DEVELOPMENT AS SHOWN ON THESE PLANS MUST NOT BE ALTERED UNLESS WITH THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY.

TN.2 THESE DRAWINGS ARE TO BE USED FOR PLANNING & BUILDING PERMIT PURPOSES ONLY. PRIOR TO COMMENCING WORK A DRAINAGE BUILDING PERMIT IS REQUIRED FROM THE RELEVANT BUILDING SURVEYOR.

ALL SOIL POINT OF DISCHARGE TO BE CONNECTED TO THE STORMWATER SYSTEM. ALL SUCH DISCHARGE TO ENSURE THAT NO SURCHARGE TO ADJOINING PROPERTIES IS ALLOWED.

TN.3 ANY PLUMBING PIPE, EXISTING & PLANT EQUIPMENT MUST BE CONCEALED FROM EXTERNAL VIEW. THIS DOES NOT INCLUDE EXTERNAL GUTTERS & DOWNPIPES DRAWN IN DRAWINGS.

TN.4 HEATING VENTILATOR LOCATED WITHIN ROOF SPACES. ANY DUCTWORK OUTSIDE, IF ANY, MUST BE CONCEALED FROM THE STREET VIEW.

TN.5 A SIGNBOARD CONTAINING A SIGNAGE OR HOLDER MAY BE PROVIDED TO EACH PREMISES AT THE STREET FRONTAGE. THE MAXIMUM DIMENSIONS, LOCATION AND HEIGHT MUST BE CONSISTENT WITH THE REQUIREMENTS OF AUSTRALIA POST.

status: Town Planning

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drawing: Traffic Diagrams

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project:
Proposed 5 Dwellings
72 Nimmo Street,
Essendon VIC 3040

job no. 1204
drg no. TP 06
rev

DSP Architects
Danny Sacco Architect ARAIA
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T (03) 9379 0050 F (03) 9011 6145
Email admin@dsparchitects.com.au

EXTERNAL MATERIALS, COLOURS & FINISHES
1204: 72 NIMMO STREET, ESSENDON

ITEM & CODE	MATERIAL	COLOUR	COLOUR SAMPLE
LOWER WALLS	[FB] Brick	Black Diamond or similar	
PORCHES	[AL] Alucobond/James Hardie Matrix	Monument/Black or similar	
PORCHES	[RF] Render Finish	Monument/Black or similar	
WINDOWS	Colorbond	Off White or similar	
DRIVEWAY	Exposed Concrete Aggregate	Black or similar	
GARAGE DOOR	Colorbond	Shale Grey or similar	
FRONT FENCE	Brick	Black Diamond or similar	

DSP Architects
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Email admin@dsparchitects.com.au

EXTERNAL MATERIALS, COLOURS & FINISHES
1204: 72 NIMMO STREET, ESSENDON

ITEM & CODE	MATERIAL	COLOUR	COLOUR SAMPLE
PITCHED ROOFING	Tiles	Black or similar	
GUTTER	Colorbond	Black or similar	
FASCIA	Colorbond	Grey or similar	
DOWNPIPES	Colorbond	Grey or similar	
UPPER WALLS Refer to Elevations for Locations	[RF] Render Finish	Noble Brown or similar	
UPPER WALLS Refer to Elevations for Locations	[STR] James Hardie Stria	Grey or similar	
UPPER WALLS /PORCHES Refer to Elevations for Locations	[AL] Alucobond/James Hardie Matrix	Monument/Black or similar	

9.2 Essendon Junction Grade Separation Options – Council Submission

Appendix A: Submission to the Level Crossing Removal Authority's Preferred Option Proposal

Please note that this document will be circulated on

Monday 19 December.

City of Moonee Valley Heritage Guidelines

9243 8888 | mvcc.vic.gov.au | City of Moonee Valley

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1.4 When do you need a planning permit? 5
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1. Introduction

1.1 Background

Moonee Valley has a wide range of heritage precincts and places. The need for urban consolidation and increased densities has the potential to impact on the conservation of heritage places and precincts if not properly managed. The Moonee Valley Heritage Guidelines will assist in recognising the individual character and significance of each precinct and place to ensure that they will be successfully conserved and adapted for now and into the future. This includes infill development with good contemporary design referencing the character of the building and the precinct.

The City of Moonee Valley's Heritage Guidelines provide detailed parameters for the conservation of listed heritage buildings as well as guidance for the development of new buildings within or in close proximity to Heritage Overlays.

There are General Guidelines for:

- Conservation (including restoration and reconstruction) of original building features, details and outbuildings;
- Alterations and additions;
- Parking facilities;
- Demolition;
- Subdivision;
- Infill development, including development in close proximity to the Heritage Overlay;
- Public domain, particularly bluestone paving.

There are Specific Guidelines for:

- Front fences;
- Colour schemes;
- Commercial shopfronts, verandahs and signage.

The terms in these Guidelines are used in accordance with those defined in the Australia ICOMOS Burra Charter. These and other architectural terms are defined in a Glossary of conservation and architectural terms (Appendix 1). It is followed by a guide to architectural styles common in Moonee Valley (Appendix 2).

Separate to this publication Moonee Valley City Council has also prepared individual guidelines for each Heritage Overlay Precinct. These guidelines set out the reasons for a precincts importance, the elements to be protected and specific advice for new works within that precinct. Individual Precinct Guidelines are available on Council's website (mvcc.vic.gov.au/heritage) or obtained at the Civic Centre.

1.2 Purpose of the Guidelines

The purpose of the Guidelines is to assist property owners, architects, town planners and building designers with how to conserve, restore, and adapt existing buildings protected by Moonee Valley's Heritage Overlay, as well as provide assistance with new infill buildings.

The Guidelines will be used to assist with the assessment of heritage considerations during the planning permit process, particularly for buildings and areas protected by Moonee Valley's Heritage Overlay.

The ultimate objective is conservation of the historic character of the places and precincts that form the cultural heritage significance of Moonee Valley.

Planning assessments will particularly take into consideration how new built form is integrated into the historic built environment and how the proposed works will affect the important components of an existing heritage building and elements of its site such as fences and garages.

The Guidelines generally focus on residential buildings, with a separate section on commercial buildings in the Specific Guidelines. For other types of buildings, such as public-use and industrial buildings, a site-specific approach may be required by working with Council's Heritage Advisor. Even when the specific guidance is not applicable, the overarching objectives set out in each section are still relevant.

Please note that the Guidelines do not address in any detail trees protected under the Heritage Overlay or significant trees protected under the Environmental Significance Overlay – Schedule 2. A planning permit may be required to remove or lop or otherwise damage trees protected in this way. Before undertaking any works that may impact on a mature tree, please contact the Statutory Planning Department to check if a permit is required.

1.3 Definitions

The terminology used in these Guidelines is consistent with the Australia ICOMOS Burra Charter (2013). See Appendix 1 for a list of key definitions.

The following specific definitions apply:

- *Significant* – A heritage place that has cultural heritage significance independent of its context. Such places may have their own Heritage Overlay number or they may be part of a wider heritage precinct. If located within a precinct, they would still be eligible for heritage protection even if the precinct did not exist around them.
- *Contributory* – A place that contributes to the significance of a heritage precinct, but would not be protected if it was on its own.
- *Non-contributory* – A place that does not contribute to the significance of a heritage precinct. In some instances a Significant place may be considered Non-contributory to a precinct, for example an important Modernist house within a Victorian-era precinct.

The more general term 'heritage building' is also used in these Guidelines to denote both Significant and Contributory buildings.

To find out more information about your heritage building or precinct and why it is significant, go to the Moonee Valley Heritage Database, found in the Heritage section of Council's website (**www.mvcc.vic.gov.au/heritage**).

1.4 When do you need a planning permit?

Clause 43.01 (Heritage Overlay) of the Moonee Valley Planning Scheme sets out what sort of works within a Heritage Overlay require a planning permit.

In heritage precincts, there are permit exemptions that remove some of the requirements to obtain a planning permit for Contributory and Non-contributory buildings. Contact Statutory Planning to check if any exemptions apply to your planned works.

In most cases, no permit is required to make internal changes to heritage buildings. For example, remodelling and upgrading kitchens and bathrooms, or reconfiguring floor plans. If an internal change results in a change to the building envelope (such as the removal or addition of a window), then the need for a permit is triggered. The exceptions are a handful of places with Internal Controls (mainly churches) as well as some buildings that are also listed on the Victorian Heritage Register. Check with Statutory Planning to see if you will need a permit from Heritage Victoria or from Council for the type of works planned.

1.5 Preparing to lodge a planning permit

Moonee Valley Council offers a free Heritage Advisor service for owners and managers of properties within a Heritage Overlay. The Heritage Advisor can provide assistance about any plans you may have to make changes to your property. If you would like to discuss a proposed restoration, demolition or redevelopment of a heritage place, please contact the Statutory Planning Department to arrange a time to speak to the Heritage Advisor.

If you already have a good idea of what works you would like to carry out, then you should arrange a pre-application meeting prior to lodging your application. Council has a 'Request for a pre-application meeting – Heritage Overlay' form that you can obtain from Council's website, and post or submit it in person at the Civic Centre (Kellaway Avenue) in Moonee Ponds. Along with the form, you will need to provide:

- Concept plans and/or sketches,
- Current certificate of title for the property in question, and
- Additional information such as photographs of the site and streetscape.

At a pre-application meeting with a Statutory Planner and the Heritage Advisor you will have a chance to discuss how your proposal satisfies the policies and objectives of the Heritage Overlay and these Guidelines and the Moonee Valley Planning Scheme more generally. The Statutory Planner and the Heritage Advisor may wish to conduct a site inspection to better understand your property and proposal. They may provide suggestions on heritage matters for your application at this stage before you lodge a full planning permit application, and advise you about what documentation you will need to submit for the type of works proposed.

To find out what items you will need to lodge as part of your planning application, see the Planning fact sheets and checklists which can be found on Council's website or obtained at the Civic Centre.

2. General Guidelines

2.1 Introduction

It is important to retain the specific historic character of each heritage building and place. Looking after the physical fabric assists in understanding the development and the cultural heritage of the City of Moonee Valley.

2.2 Conservation of Original Built Fabric, Building Features and Details

Objectives:

- To encourage the retention and appropriate care of contributory building fabric and elements.
- To ensure buildings are restored or reconstructed to an earlier appearance accurately.

The best way to preserve a heritage building into the future is to provide ongoing maintenance, with attention to issues such as keeping out water and renewing protective coatings (e.g., paint on timber). This approach will also save money on expensive repairs and replacements which are sometimes required when buildings are neglected.

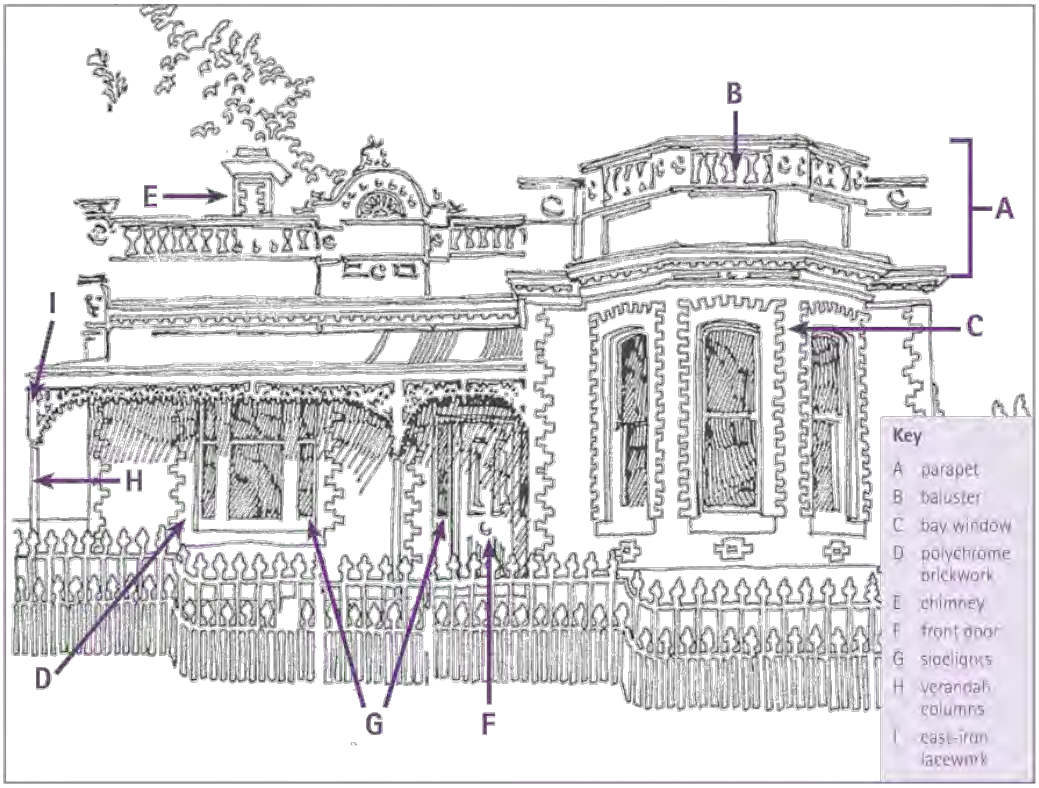
A careful approach is required for the maintenance and repair of heritage buildings as the building materials – or 'fabric' – are usually considered to be significant in and of itself. This means that the aim of maintenance and repair of heritage buildings should not be to recreate an 'as new' appearance or condition but merely to ensure that the building is sound but may show its age.

It is not often appropriate to replace building fabric in its entirety; instead replacement should focus on only removing unsound parts. For example, if the lowest weatherboards on a wall are rotted, only they should be replaced (with matching) instead of the whole wall.

2.2.1 Restoration and reconstruction

Restoration and reconstruction of altered or missing features is encouraged if a building has been altered unsympathetically in the past. Restoration most commonly involves the removal of later additions, such as the gentle removal of paint from face bricks, or revealing a verandah that had been built in. With reconstruction, for example, if the original slate or corrugated iron roofing

Figure 1. Victorian villa elements (1870s–1890s)



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was replaced with another material, e.g., concrete tiles, it would be appropriate to reinstate the original type of roofing. In some cases, later alterations will have their own heritage significance, such as Interwar shopfronts in a Victorian commercial building, and it would not be appropriate to replace them with a reproduction of the original.

Reconstruction of missing elements should be based on sound documentation, such as early photos or physical evidence from the building or identical ones in the area. When no such documentation or examples in the street or precinct can be found, then the design of reconstructed features should be a simplified version appropriate for a building of that style and complexity of design.

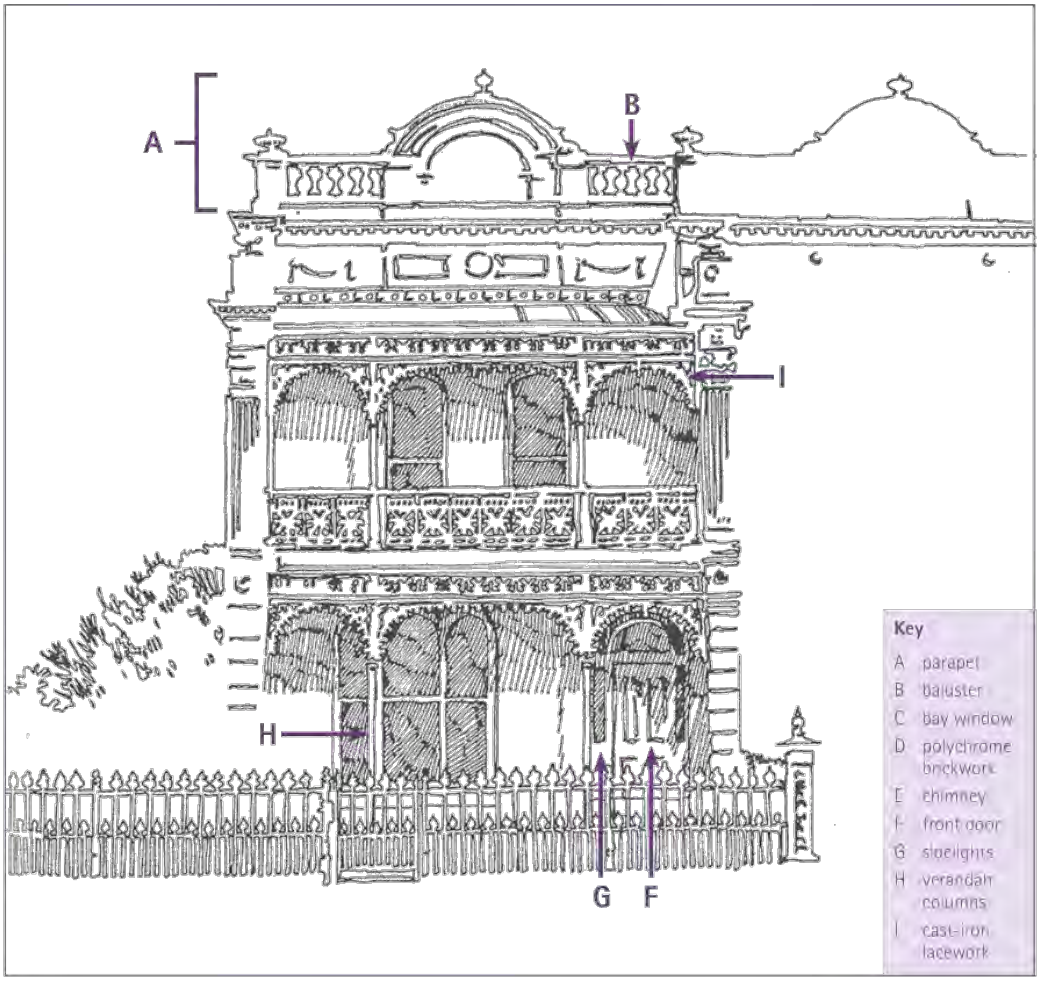
For example, a Victorian timber cottage would have had a simple verandah, while a middle-class Victorian villa would have had a more highly ornamented one (*see Figure 1 and Figure 2*). Council's Heritage Advisor can assist with this advice.

It is important to take the time to investigate the correct restoration outcomes for your heritage place.

2.2.3 Early outbuildings

Original and early outbuildings, such as stables, privies and garages, are often contributory elements of a site or precinct and should be retained where possible. This is particularly true of outbuilding types that are now rare, such as stables, as well as original garages that are architecturally related to the house and are also visible from the street. An assessment of the heritage significance of outbuildings will take place during the pre-application meeting or planning permit application process.

Figure 2. Victorian Boom style terrace elements (1880s)



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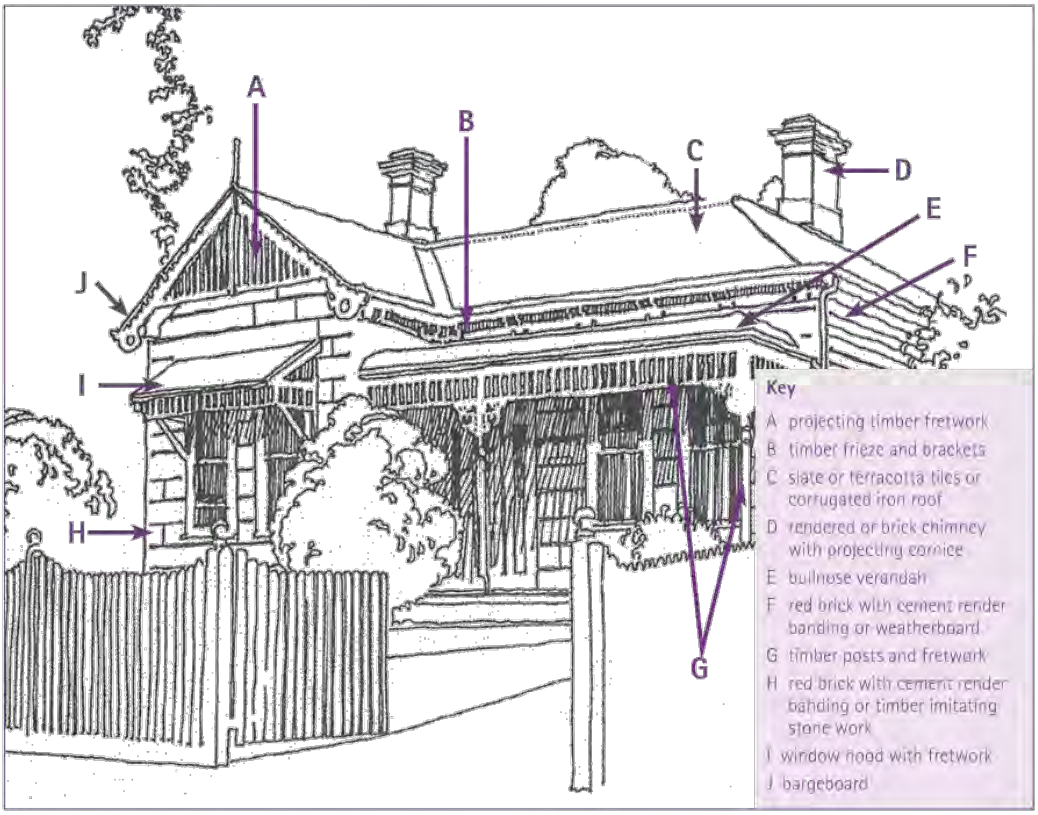
2.2.4 Contributory building elements

The list below and diagrams on subsequent pages illustrate some of the key stylistic elements of residential *(see Figure 1 to Figure 8)* and commercial buildings *(see Figure 26 and Figure 27)*. These elements of the building fabric are considered to contribute to the heritage significance of the building. Many of them are illustrated on the following pages, grouped according to architectural style. Further information can be found in Heritage Victoria's publication *What house is that?* or the companion interactive tool which is available on their website. Contributory building elements include:

- Roof shapes, ridge lines and materials (such as corrugated iron, slate and gutter and downpipe styles)
- Chimneys
- Parapet walls and decorative elements (such as balusters, urns and orbs)
- Towers, spires, columns, bay windows and other significant details
- Balconies and verandahs, including posts, timber fretwork or cast-iron lacework, paving tiles, soffit lining such as pressed-metal panels, rafters, roof covering
- Wall cladding materials (such as weatherboard, ashlar boards, face brick, stone, smooth and roughcast rendered surfaces, timber strapwork/faux half-timbering, ceramic tiles)
- Window frames, sashes such as double hung or casement), shutters and hoods
- Shopfronts, including shop windows, entries and external display cases
- Stained glass and leadlights
- Front doors and surrounds, including sidelights, highlights and timber panelling
- Front fences
- Garden paths, retaining walls and other hard landscaping associated with early garden layouts'
- Outbuildings such as stables, privies and original garages
- Paving treatments to roads, laneways and paths such as bluestone
- Public realm infrastructure such as historic bollards, brackets or post lighting, former gas lamp bases, watering troughs
- Historic signs, including those painted on walls.

Figure 3. Federation House elements (1895–1910s)



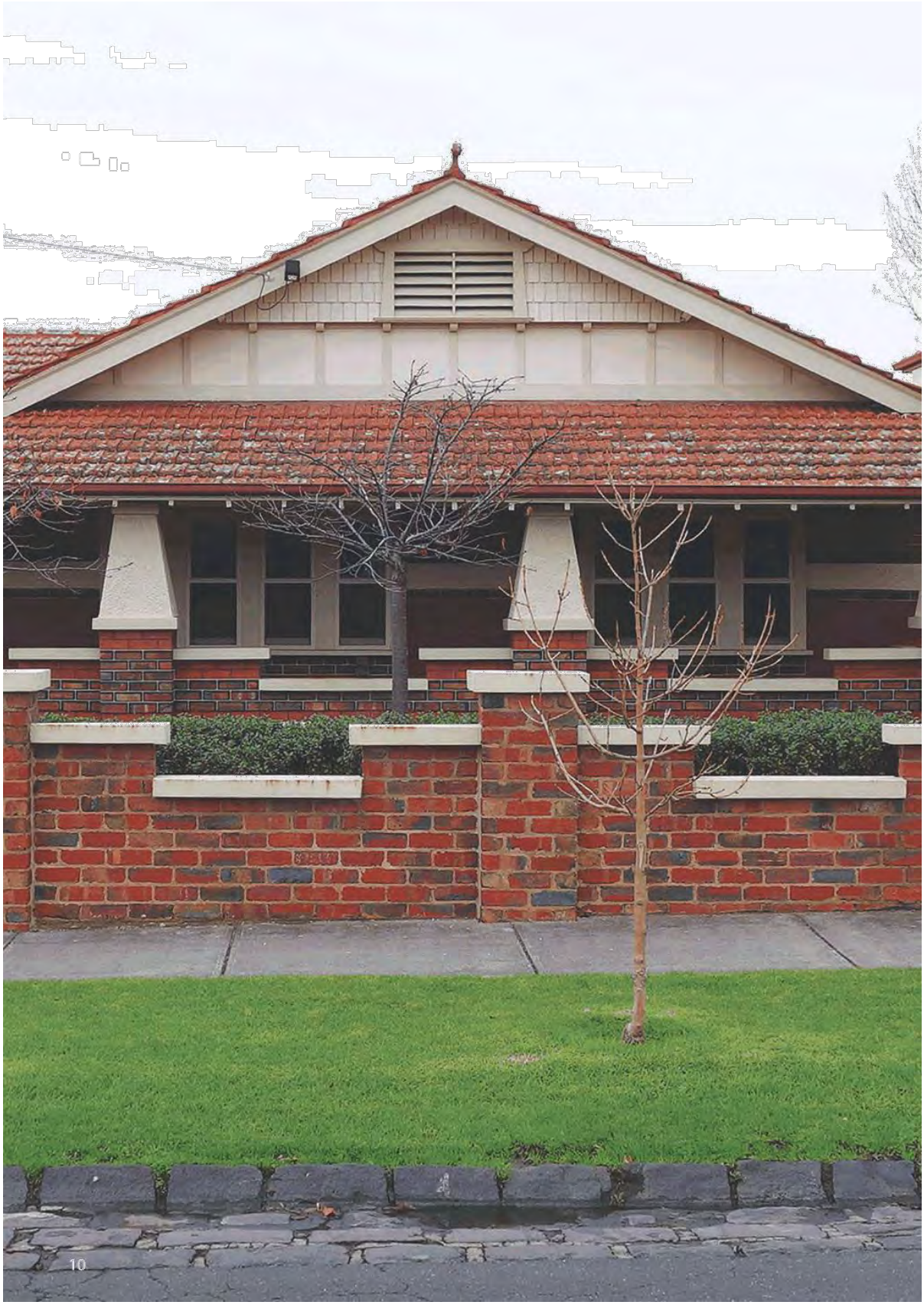

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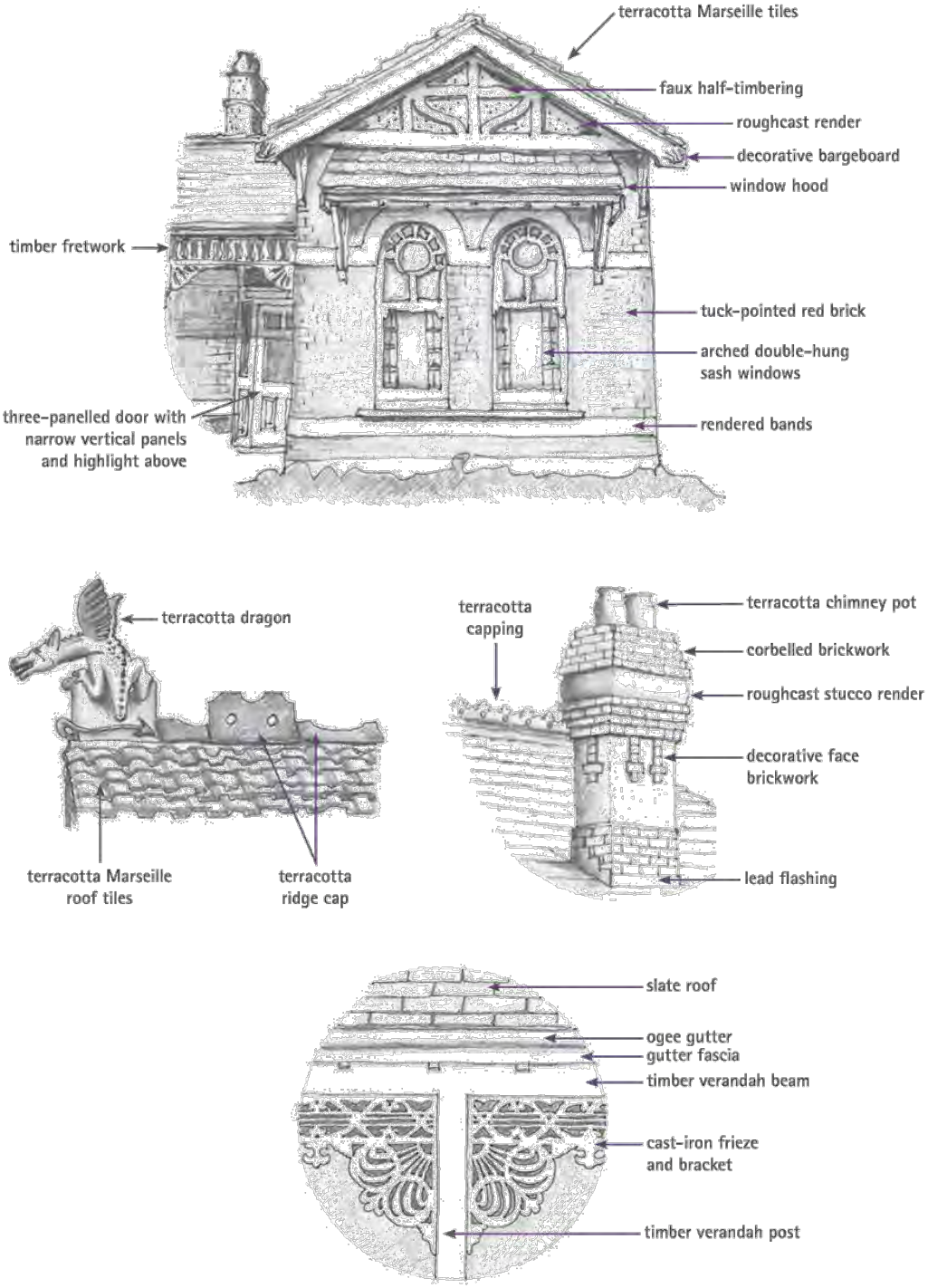
Figure 4. Federation details



2.3 Alterations to Contributory and Significant Buildings

Objectives:

- To ensure that alterations respect the contributory elements of the heritage building.
- To ensure that alterations retain the significant parts of built fabric.
- To ensure that alterations do not adversely affect the significance, character and appearance of the heritage place.

2.3.1 Alteration works

Alterations are works, repairs and routine maintenance that change the appearance of a building or are not carried out to the same details, specifications or materials of the original building.

The scale, intactness and particular fine grain architectural details of each heritage place will determine to what extent it can be changed. Alterations that remove unsympathetic fabric and reconstruct lost fabric to the façade will be encouraged. Alterations behind the main ridgeline that are not visible from the street, or have a minimal impact on the streetscape whilst retaining sufficient original fabric, may be in some cases be exempt from the requirement for a planning permit.

Alterations that remove, alter or destroy contributory features, particularly those visible from a street (other than a lane) or public park, are unlikely to be supported. For example, an old slate roof should be replaced with new slates of the same size, shape and colour on the visible slopes of the roof at minimum. Rusted galvanised corrugated iron should be replaced with the same, not modern materials such as Zincalume or Colorbond, at least where visible from the public domain. Timber windows should be replaced with the same if unrepairable, not with aluminium or plastic units.

Alterations that introduce new elements visible from the public domain are unlikely to be supported. For example, dormer windows, porticos, verandahs, external shading devices (e.g., timber or roller shutters, awnings), security doors, or the creation of new window or door openings.

2.3.2 Domestic services and sustainability measures

The preferred position for domestic services, such as air-conditioners, heat pumps, boilers, hot-water heaters and satellite dishes, as well as solar energy panels and converters and rainwater tanks, is a location where it will not be visible from a street (other than a lane) or public park.

If solar panels are installed on a side roof slope, then locating them behind the chimney (if feasible) is often the least intrusive to the streetscape. If the chimneys have been removed in the past, there may be an opportunity to reconstruct one period chimney stack with lightweight materials and locate the solar panels behind it. Usually, a chimney would be located above the rear wall of the first room as viewed from the street. If a chimney is not to be reconstructed, the solar panels should be installed one room deep above the rear wall of the first room as viewed from the street.

If it is not possible to entirely conceal such services from the public domain, then they should be set back as far as possible, particularly for principle views of the heritage building, and sensitively integrated into the overall design. In some cases well-designed screening measures can lessen the impact of new services that would otherwise be visible.

Wall mounted cabling and small pipes need to be installed in a manner so that their visibility is significantly reduced. Painting the cable or conduit to match the underlying wall fabric is a good solution to reduce visibility.

Figure 5. California Bungalow elements (1915–1940)

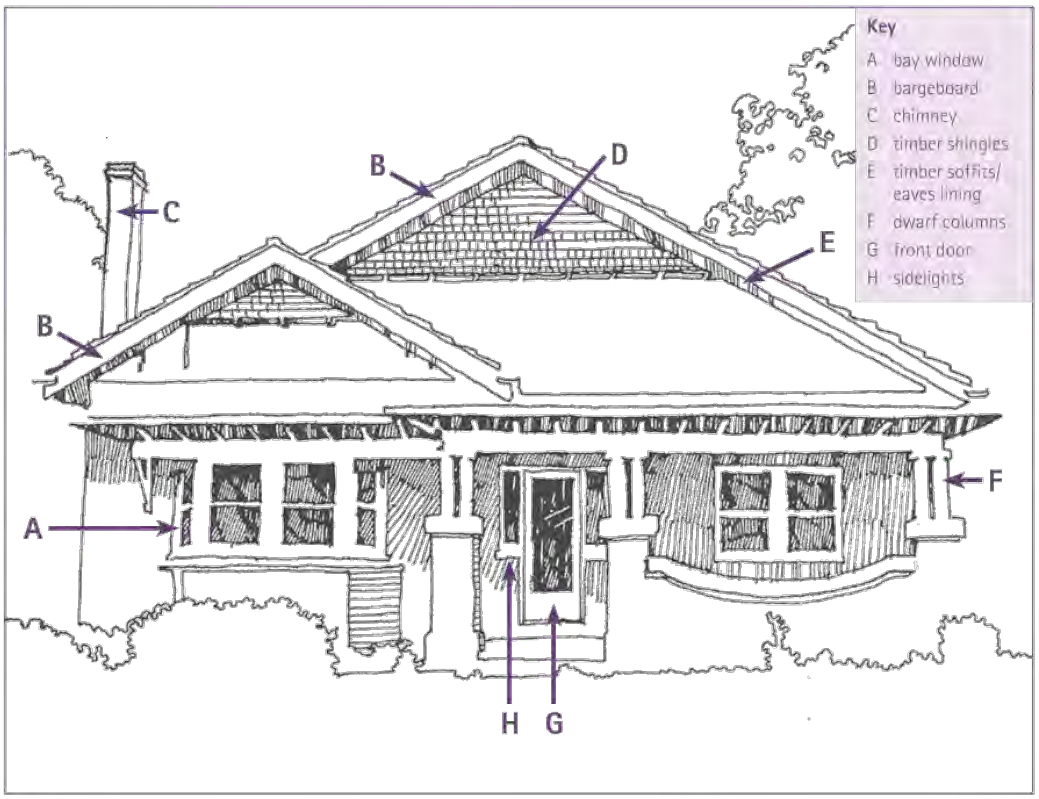
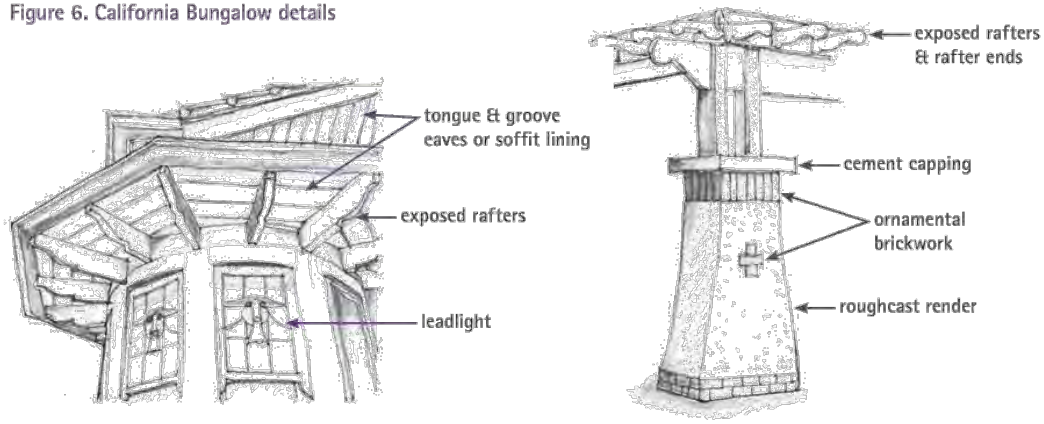


Figure 6. California Bungalow details



Corner bay window elements

Interwar tapered verandah pier

Figure 7. Moderne house elements

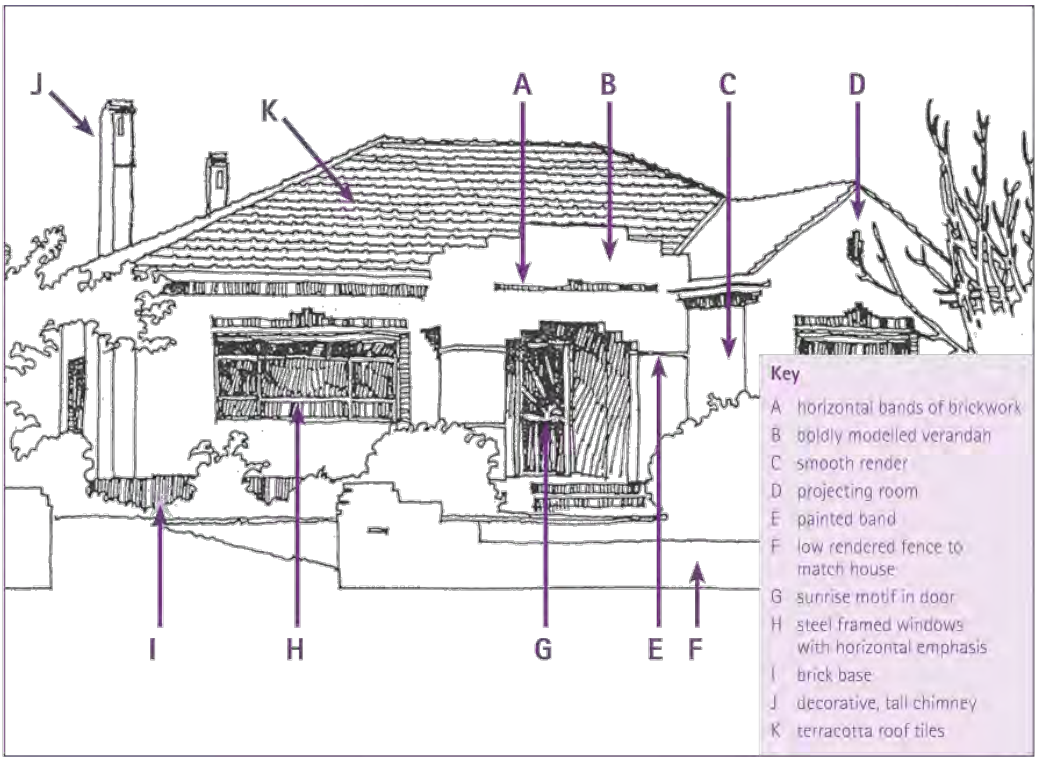
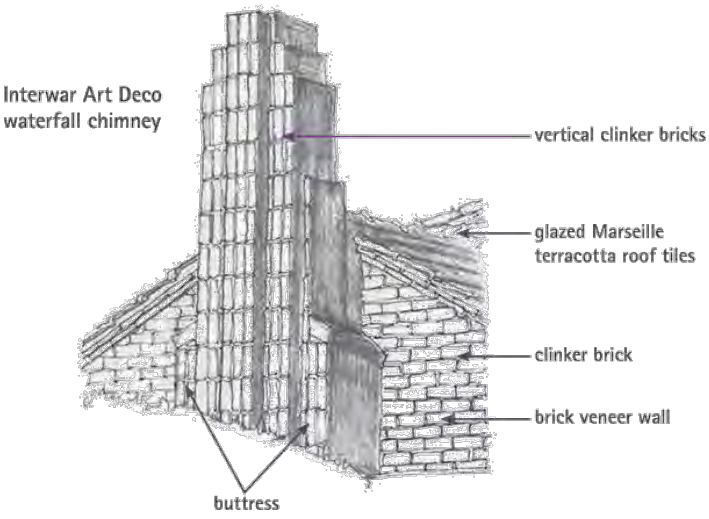


Figure 8. Modern detail



2.4 Parking Facilities

Objectives:

- To ensure that new car parking facilities have a minimal impact on the significance, appearance and structural stability of the heritage building.
- To ensure that new car parking facilities have a minimal impact on the significance and appearance of streetscapes in heritage precincts.

2.4.1 New parking structures

Most of the heritage buildings in Moonee Valley were built before car ownership was possible or common, and many of the earliest houses have minimal front and side setbacks to allow for a side driveway and parking structure. Even where there is sufficient space to the front, or rear laneway/side street access, carparking structures are not a traditional part of many of these streetscapes and may not be appropriate or should be a recessive element. Note that generally demolition of a contributory outbuilding that does not allow room for a new parking structure would not be supported.

- For the siting of new carparking structures:
- For Contributory buildings, they should be set back at least 500 mm behind the front wall of the house, excluding any projecting bays, verandahs or porches *(as shown in Figure 9)*. The structure should be detached from the house, where possible. Double carports and double garages should be set behind the rear wall of the house. For Significant buildings, a complete separation in siting between the house and parking structure may be required.
- Carparking structures should not obscure viewlines to the façade or viewlines to adjacent heritage buildings from the street frontage.

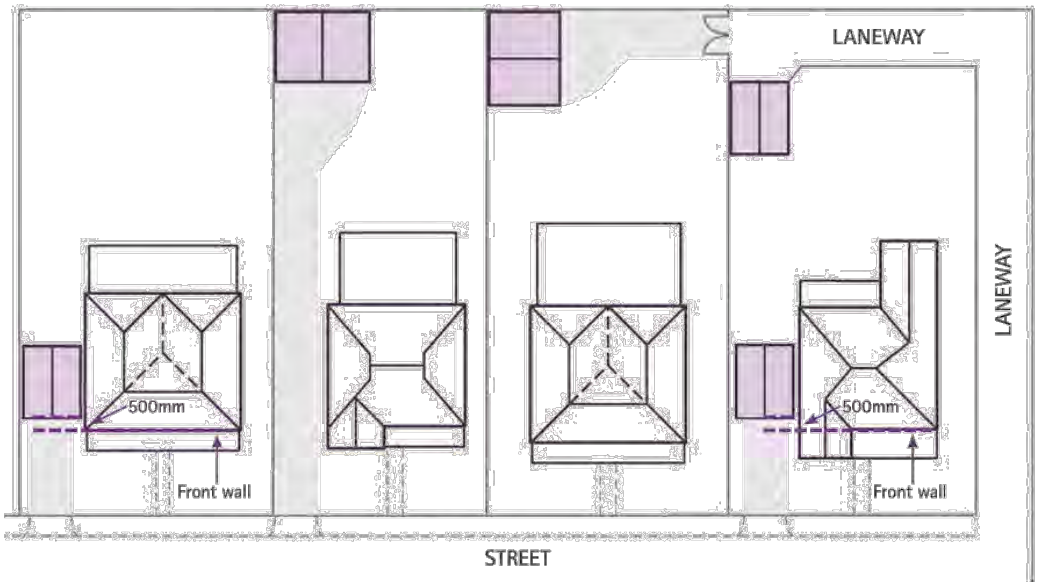
Basement carparking may be appropriate when:

- It is beneath a rear addition
- The entrance ramp has a low degree of visibility from the public domain
- The start of the ramp is set a reasonable distance behind the front wall of the house to reduce the visual impact on views to the house
- Evidence is provided that the introduction of the ramp and basement carpark will not compromise the structural integrity of the house.
- Note that introduction of a sliding gate may assist in reducing the visual impact of the entrance ramp to the basement carpark.

New carparking structures and other outbuildings should:

- Be subordinate in scale to the heritage building. Generally, they should be single-storey. A two-storey form may be appropriate for a garage abutting the rear boundary if there are original two-storey outbuildings (for example, stables) along that laneway.
- Have a design that complements the associated heritage building, for example, in its roof form and cladding, but not replicate the heritage features.

Figure 9. Carport and garage locations to side and/or rear of Contributory houses



2.4.2 Driveways, crossovers and uncovered carparks

Crossovers to the frontages of properties may not be appropriate in streets that traditionally did not have them such as intact Victorian streetscapes or where rear or side access is available. A permit may be granted to create a new crossover when all of the following apply:

- On-site parking is not in conflict with the heritage citation for the building or precinct. For example, if creation of the new crossover and driveway will require the partial or full demolition of a contributory fence or in an intact streetscape, the proposal may not be granted.
- The property does not already have a crossover.
- The property does not have rear or side access.
- There is a sufficient side setback beside the house to allow for a driveway with a landscape buffer from the main street frontage; or there is a sufficient rear setback to allow for a driveway from the side street.
- The parking structure or space will be set back at least 500 mm behind the front wall of the house. Construction of parking bays or structures in front of houses is not appropriate.
- The crossover and driveway are single-width only.
- The proposal is not in conflict with advice from Council's traffic engineers.

Where bluestone kerb and/or channels are present in the street, the following principles should be followed:

- If new dwellings are developed with main or garage access via a bluestone laneway, it is desirable to retain the bluestone pitched surface.
- If a new crossover is created in a street with bluestone kerb and channel, the bluestone kerb and channel need to be retained as per Moonee Valley's Engineering Services *Special Bluestone Residential Vehicular Crossing* detail. It can be obtained by contacting Council.

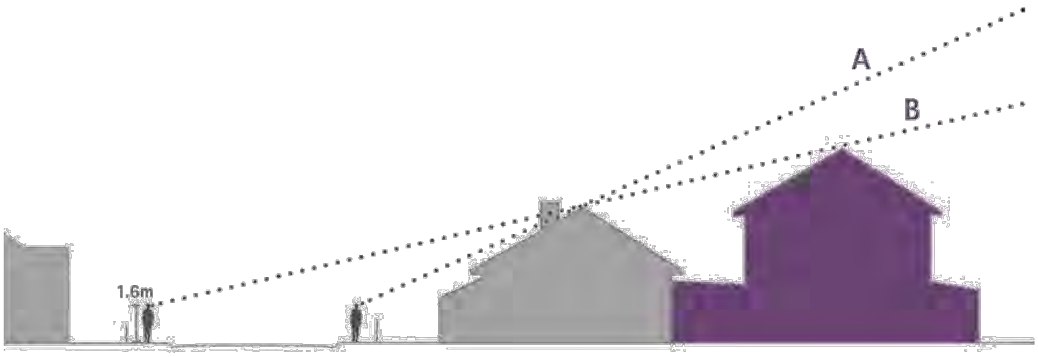
2.5 Additions to Heritage Buildings

Objectives:

- To ensure that additions respect the contributory elements of the heritage building.
- To ensure that most, if not a significant part, of the heritage building is kept.
- To ensure that additions do not adversely affect the significance, character and appearance of the heritage building, and surrounding heritage precinct where applicable.
- To ensure that the significant parts of contributory elements retain their prominence and are not dominated by new works.
- To ensure additions strive for design excellence and achieve high aesthetic values, while relating to the heritage building, and surrounding heritage precinct where applicable.

Replacing outdated service areas with new ones and adding new rooms can be an effective way of ensuring that heritage buildings have an on-going use into the future. When designing additions, the first principle is to understand and respect the character and scale of the heritage building. A heritage building that undergoes too much change through excessive demolition or large new additions becomes overwhelmed and loses its historic scale and character as well as its cultural significance. A balanced approach is needed.

Figure 10. Additions behind single-storey house with one-storey link



2.5.1 Setbacks of additions

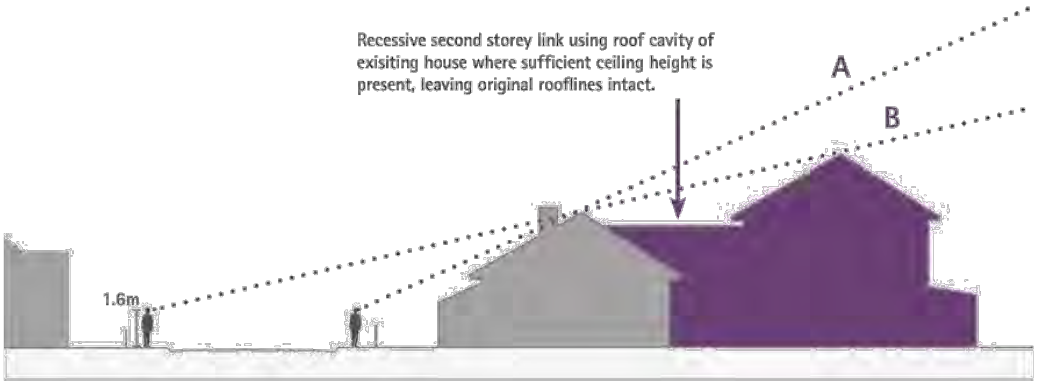
How far a new addition is set back from the street frontage and the side boundaries has a great impact on how noticeable it is from the public domain. The scope for additions is determined by visibility from the street behind a particular roof shape, the existence of a parapet and/or particular scale and proportions of the heritage building. In general:

- For Contributory terraced buildings or duplexes/ maisonettes, two-storey additions should be set back from the front wall by at least two rooms. This minimises the impact of the addition on the streetscape as well as allowing the retention of the original ridgeline and chimney(s).
- For Contributory free-standing buildings, setting back additions so that they are not visible when viewed from the street is encouraged. This includes a side street if the building is on a corner; however laneways are of secondary consideration.
- Two versions of this approach are illustrated in *Figure 10 and Figure 11*. Requirements for Significant buildings are likely to be more stringent, depending on their particular characteristics and whether additions compromise the significance of the building. These are assessed on a case by case basis.
- Additions to the side of a house may be considered providing their scale, design, and distance from the street frontage do not significantly compromise views of the building and site from the public domain or from adjacent heritage places. Care should be taken not to transform the character of a freestanding house to one built to both boundaries, for example, by adding an en-suite extension on one side and a garage to the other.
- For all rear additions, the importance of the backyard-scape, how it contributes to the setting of the place, and how the proposed addition will impact on it will be taken into account. New design should retain sufficient space to the rear to preserve a backyard that collectively forms the traditional backyard scape typical of many precincts. Backyards are, in essence, spatial distances between built form that are a crucial element in shaping the particular character of the precinct.

For Contributory commercial buildings (shops), two-storey additions should be set back by at least two rooms (approximately 8 metres) providing:

- The existing building is retained up to a depth of two rooms;
- The additions are hidden behind the parapet or the main ridge line of the existing building;
- The bulk and massing of the new additions do not have a detrimental effect on the heritage significance of the historic commercial building or the surrounding heritage precinct;
- Any necessary restoration and repair work are executed to the facade and verandah (where applicable) as part of the works. The heritage advisor or a heritage architect can assist with the latter.
- Appropriate setbacks and massing of rear additions to three types of commercial buildings are illustrated in Figure *12 to Figure 14*.
- property and the surrounding precinct streetscape (where applicable).

Figure 11. Additions behind single-storey house with two-storey link



2.5.2 Design of additions

The following principles should be considered to minimise negative impacts of the addition on the significance of the heritage building:

- New additions can successfully adopt a range of architectural expressions and approaches. These may include design that is a continuation of traditional built forms (for example, roof form, rhythm of fenestration, cladding materials), or contemporary architectural design solutions that relate to the original building. Decorative detail from the original building should not be copied for new additions.

For Significant buildings, the design of new additions should be of a similar architectural quality to that of the heritage building. Similar architectural quality means:

- Complementary bulk and massing.
- Good contemporary design, or a simpler design form that relies on the overall design principles of the subject heritage building without resorting to mock historical architecture.
- Additions should not compromise the design or significant features of the building. In part, this is done by ensuring that original building fabric remains intact and is restored where appropriate.
- Blank walls visible from the public domain should be avoided.
- Development should be recessive in terms of size, height and bulk when viewed from the street frontage so as to minimise its impact on views to the building and the overall precinct streetscape (where applicable).
- Development should respect the particular rhythm, scale, spatial characteristics and character of the property and the surrounding precinct streetscape (where applicable).

2.5.3 Colour scheme of additions

When a heritage building is extended, the question arises of what colour scheme would be appropriate for the original and new parts, particularly in heritage precincts where a permit is required to change external colours.

Guidelines:

There are three basic approaches, any of which may be appropriate:

- Apply a heritage colour scheme with consistent colour placement to the entire extended building. Typical historic colour schemes are outlined in the 'Colour Schemes' section of the Specific Guidelines.
- Apply a full heritage colour scheme to the original part of the building and a simplified or derivative version of that scheme to the addition.
- Apply a completely different colour scheme to the new addition when compared to the original part of the house. This option is only suitable if the addition is not visible from the public domain; if any part of the addition is visible, then it should be a consistent colour for the entire building.

Figure 12. Additions behind single-storey shopfront without a parapet

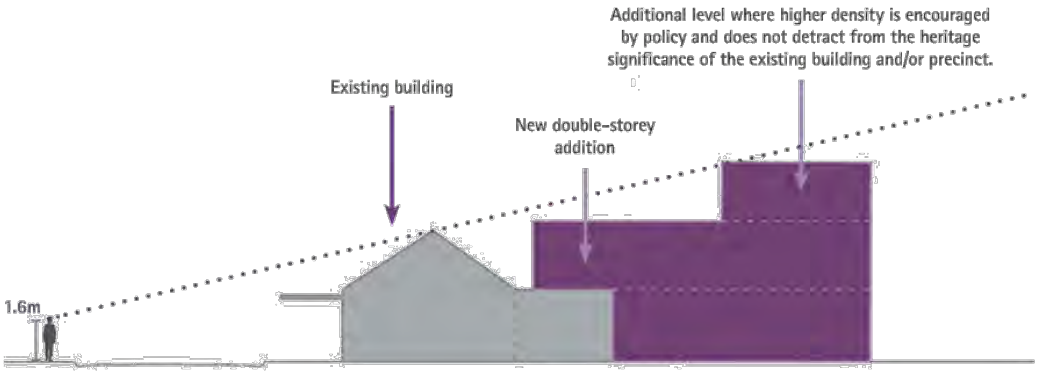


Figure 13. Additions behind single-storey shopfront with a parapet

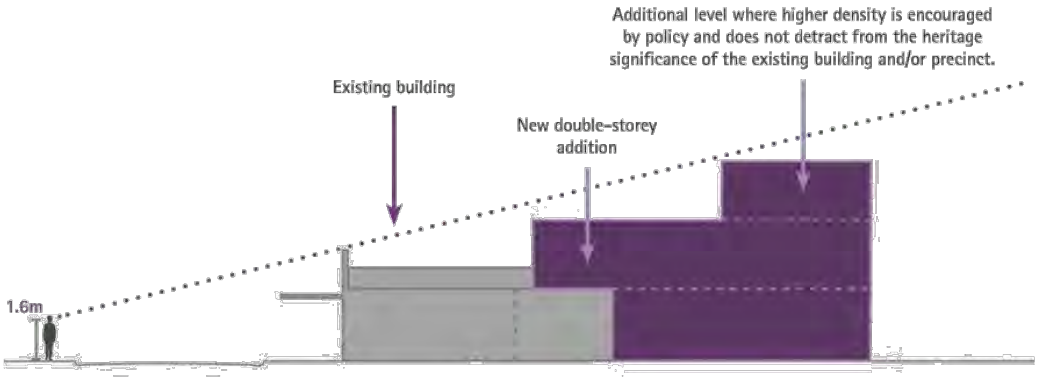
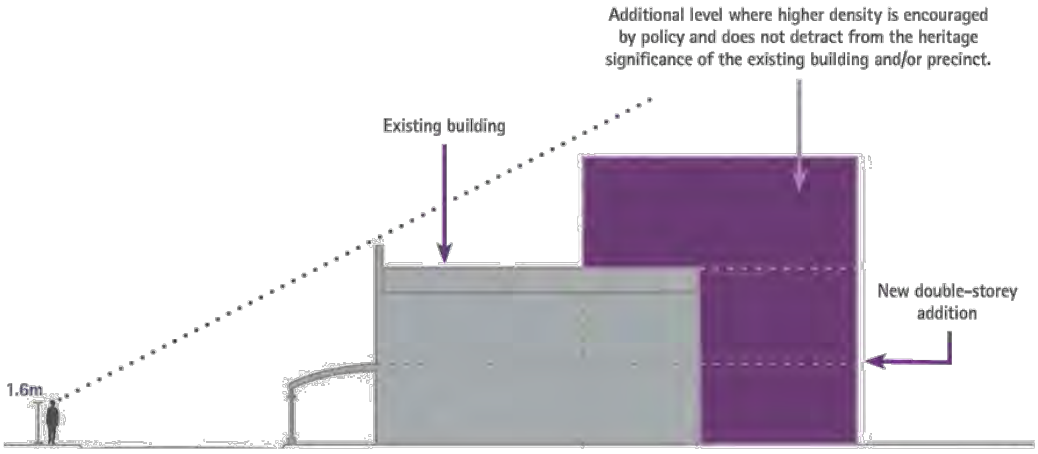


Figure 14. Additions behind double-storey shopfront with a parapet



2.6 Demolition

Objectives:

- To encourage the conservation of heritage buildings.
- To ensure that contributory elements of heritage buildings are retained.

2.6.1 Partial demolition of a heritage building

Partial demolition of a heritage building would generally not be supported unless it can be demonstrated that:

- It will not negatively impact on the heritage significance or architectural character of the place, for example, if it involves the removal of later additions or inappropriate modifications.
- It will contribute to the long-term conservation of the building (for example, by upgrading facilities to allow it to house occupants in a manner currently acceptable).

The significance of the heritage place determines to what extent it can be demolished. There is more leeway for removing rooms and architectural features from the rear of a Contributory house, though the retention of the main part of the house under the main roof would generally be encourages/promoted?. Significant buildings are treated with less leeway for partial demolition.

Façadism, that is, retaining only the main external walls of a building in redevelopment, is generally not supported by Council.

While original building elements are generally considered to contribute to the significance of a heritage building, there may also be later alterations that have heritage significance of their own and should be conserved. A common example of this is an interwar shopfront on a Victorian commercial building.

Note that while in some precincts rear additions to Contributory buildings may be exempt from a planning permit, any demolition of the building fabric still requires a permit.

2.6.2 Full demolition of a heritage building

Full demolition of a building within a Heritage Overlay is generally only supported when the building is Non-contributory to a precinct and is not Significant in its own right.

The derelict state of a Contributory or Significant building is not a reason for permitting demolition. Such buildings would need careful assessment to determine if they are in fact structurally unsound.

2.7 Alterations and Additions to Non-Contributory Buildings

Objectives:

- To ensure that alterations and additions respect the near-by Contributory and Significant buildings in the heritage precinct.
- To ensure that alterations and additions do not adversely affect the character and appearance of the surrounding heritage precinct.
- To ensure that the near-by Contributory and Significant buildings retains their prominence and are not dominated by new works.

There is more scope to alter or demolish Non-contributory buildings. Adding faux heritage details is not considered appropriate, as it detracts from an appreciation and understanding of the Contributory and Significant buildings in that precinct. External alterations (including demolition) still require a planning permit, unless they fall under the permit exemptions in place for some Heritage Overlay precincts. Contact Statutory Planning to check if any exemptions apply to your planned works.

- Additions to Non-contributory buildings should respect the scale, form, siting, massing and setbacks of nearby Contributory and Significant buildings.

2.8 Subdivision

Objectives:

- To ensure that the subdivision complements and supports the significance of the heritage place.
- To ensure that an appropriate setting and context for the heritage building is maintained or enhanced.
- To ensure that development that might result from a subdivision does not adversely affect the significance, character or appearance of the heritage building, or surrounding heritage precinct if applicable.

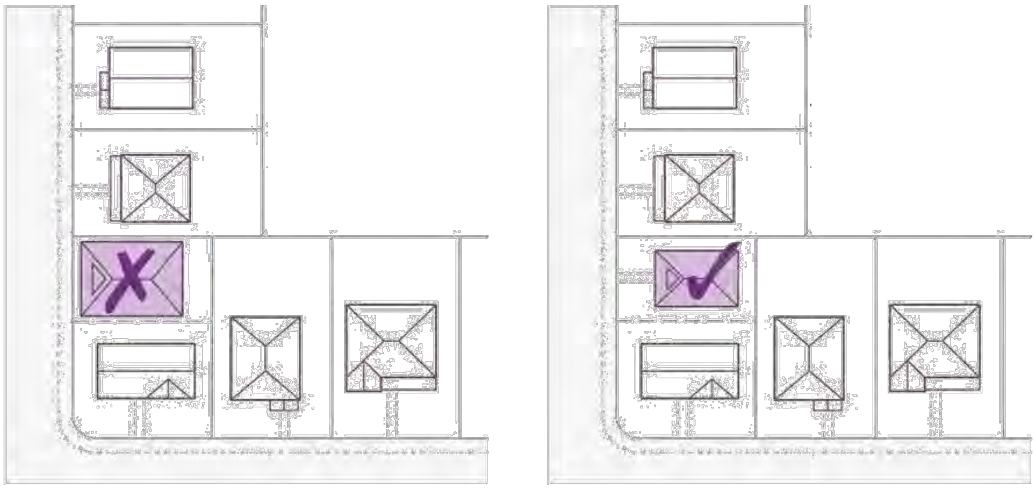
Subdivision of land can have a major impact on a heritage property or a wider heritage precinct and should be treated sensitively, taking into account the potential impact that future development on the subdivided lots may have on the heritage significance of the place.

Guidelines:

The following principles should be followed to minimise negative impacts of subdivision:

- New subdivision and associated building envelopes should be in keeping with the rhythm and patterns of buildings on the street, including side and front setbacks. *See Figure 15.*
- New subdivision should not separate elements with a shared significance onto different titles, for example, house, stables, garage, garden and trees, entrance drive.
- New subdivision should not allow for principal views to major elevations of a heritage building to be blocked.
- New subdivision should not require or potentially result in the total or partial demolition of a significant element, for example, an original fence or outbuilding.
- It may be possible to subdivide existing double-fronted houses into two dwellings by creating a secondary entrance to one side, while the second dwelling is accessed via the original front door. The backyard would also be divided in half. Only those houses that are fully detached and can accommodate an additional entrance to the one side that is marked by a second gate would qualify. In addition, it should be structurally possible to subdivide the house without altering the front facade.
- Subdivision applications should be accompanied by building envelopes that demonstrate where future dwellings are to be sited.

Figure 15. Setback for infill building on subdivided lot



Incorrect setback for infill on subdivided lot

Correct setback for infill on subdivided lot

2.9 Infill development

Objectives:

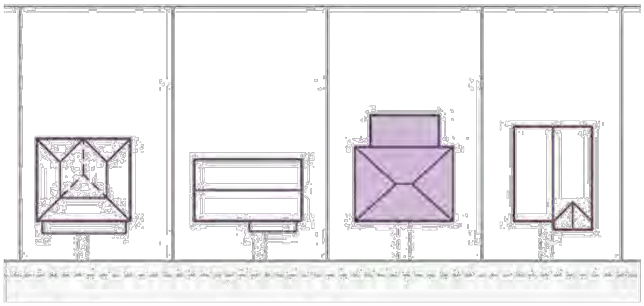
- To ensure that infill development enhances the character and appearance of the heritage precinct.
- To ensure new development does not distort historic evidence of heritage places by copying or reproducing historic styles or details.
- To ensure the location, bulk, form or appearance of infill development does not adversely affect the significance of the heritage place.
- To ensure that heritage buildings retain their prominence in the streetscape and are not dominated by new buildings.

2.9.1 Infill in precinct streetscapes

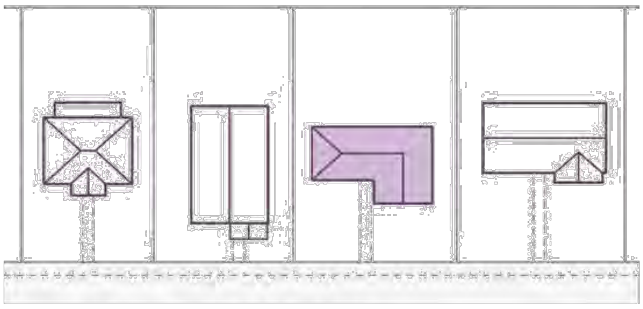
New buildings in a heritage precinct should reinforce the existing spatial and visual characteristics of the precinct, so that they enhance its character and appearance or at least have a neutral impact. This can be done by following these basic principles:

- Infill buildings should integrate harmoniously with the rhythm and character of the streetscape. To accomplish this, they should respect the scale, form, setbacks, cladding materials, colour palette and siting of nearby heritage buildings.
- Infill buildings should not visually dominate adjoining heritage buildings or block views to their principal elevations.
- The front and side setbacks of infill buildings should be in keeping with those of the surrounding heritage buildings. Where the street has inconsistent setbacks, generally adopt the average of the nearest heritage buildings on either side. *See Figure 16.*
- When determining the appropriate siting, scale and design of infill buildings, Non-contributory buildings do not provide an acceptable model.
- In their scale, infill buildings should respect the key levels of elements of the facades of surrounding heritage buildings, including the typical height of the ridgelines, roof springing, verandah roof, and window sills. Prevailing parapets and façade elements can be used as a reference. *See Figure 17*
- If the streetscape is predominantly single-storey, it may be possible to incorporate a two-storey section if it is set back behind the front room or further. *See Figure 18 and Figure 19.*
- Garages should be a subsidiary element in the presentation of new buildings, and not incorporated into the front elevation. Where possible, vehicle access from the rear of the property is preferred.

Figure 16. Front setback for infill buildings



New development among even setbacks



New development among varied setbacks

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Figure 17. Single-storey residential infill design, showing key levels

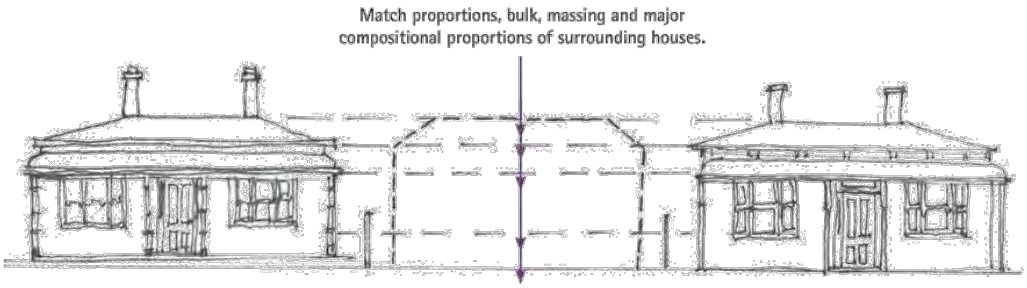


Figure 18. Double-storey residential infill in single-storey streetscape, showing key levels

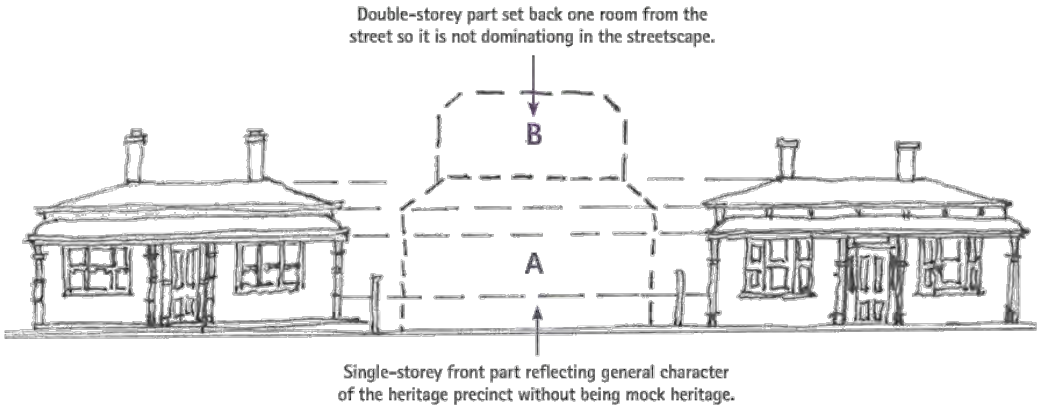
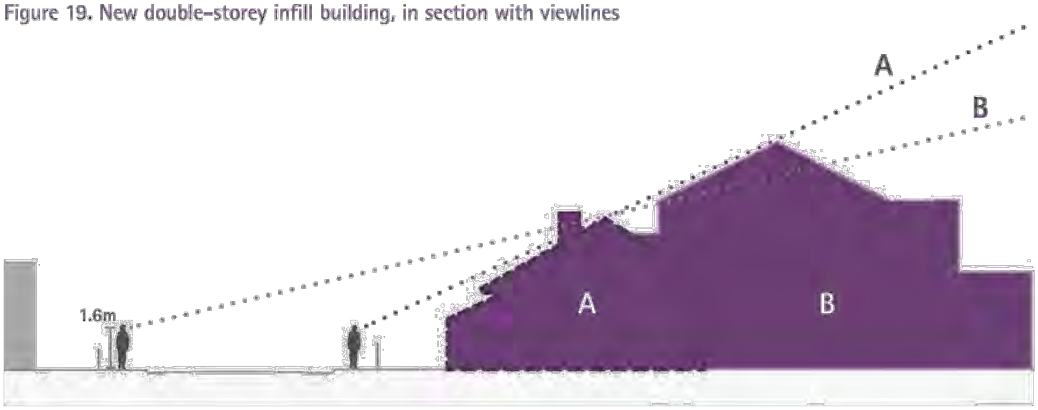


Figure 19. New double-storey infill building, in section with viewlines



- Infill buildings can be based on historical building typologies common in the heritage precinct. For example, it may be appropriate to use a terrace or duplex form for new buildings.
- The design of roofs for infill buildings should relate to those of surrounding heritage buildings.
- The scale, design and patterning of fenestration and doors of infill buildings should reflect those in the streetscape.
- Good contemporary design that re-interprets and contains components of the character of the subject heritage building and precinct will be considered.
- Reproduction heritage features and ornament should not be used on infill buildings.
- Buildings in historic commercial precincts are often very similar in terms of their scale, siting and/or architectural detailing. Shopfronts have typically zero front setbacks and are attached. Often a regular pattern of parapets and detailing is present. When a mix of architectural periods is represented, then the adjacent historic buildings' context should prevail in designing new infill buildings.
- Commercial infill design should be consistent with the scale, building height, historic shopfront design, parapet heights and ornamentation and verandah type (as well as form and height). In addition, new fenestration details such as window sill and lintel levels and architrave design should be consistent with the patterns of adjacent heritage buildings. *See Figure 20.*
- Buildings in historic commercial precincts are often very similar in terms of their scale, siting and/or architectural detailing. Shopfronts have typical zero front setbacks and are attached. Often a regular pattern of parapets and detailing is present. When a mix of architectural periods is represented, then the adjacent historic buildings' context should prevail in designing new infill buildings
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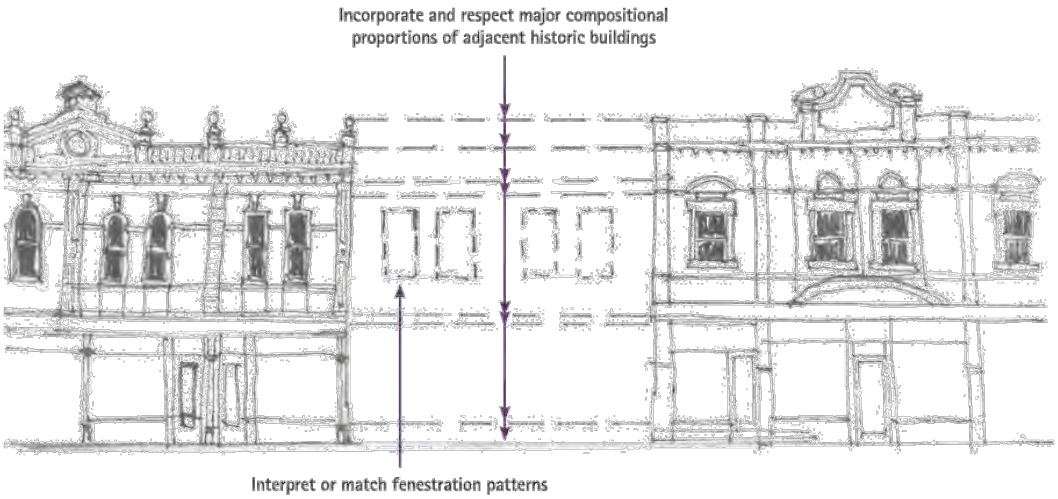
Figure 20. Historic commercial infill design showing key levels



2.9.2 Rear units

If a new dwelling is to be built behind a heritage building, apart from corner sites, then the design emphasis should be on minimising the visibility and thus the impact on views to the heritage building and the surrounding precinct streetscape.

Guidelines:

- The new unit should be set back far enough to allow the heritage house to retain a backyard scape. Depending on the scale of the allotment, this distance may differ substantially.
- The roof form and cladding materials of the new unit should be in keeping with those typical of that streetscape or precinct.
- No new crossover should be provided to service a rear unit unless it is to a side street. Where there is no side or rear access, then the existing driveway should be shared.

On corner sites, the appearance, the bulk, scale and massing of the new unit should not detract from the character of the historic building on the subject site or surrounding precinct.

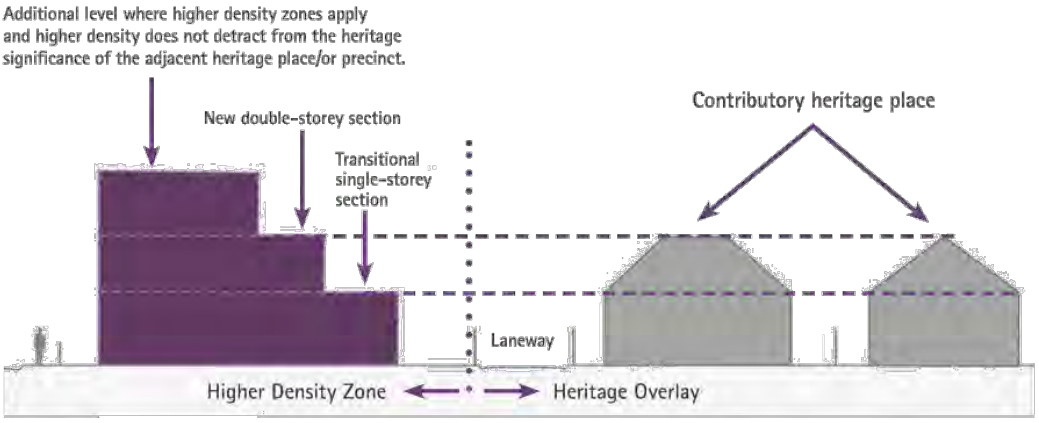
2.9.3 Development in Close Proximity to the Heritage Overlay

New development that is in close proximity to properties in the Heritage Overlay should provide built form transitions in its scale, massing and setbacks that reference the significant characteristics of the heritage place or precinct to ensure a smooth transition between building scales and that surrounding heritage places are not unduly dwarfed or reduced in significance.

Close proximity may mean a property next to, across from, behind, in the same block as a heritage place or precinct, or anywhere near enough that development may have a visual impact. A smooth transition means an incrementally scaled transition from the smaller to the greater scale, as well as a clear design link between the lower levels of the new development and the heritage place. *See Figure 21.*

New development nearby or abutting a site in a Heritage Overlay should reference prevailing eave or parapet heights and siting arrangements to ensure new development responds to the heritage place or precinct. It is often appropriate to incorporate a low-rise transitional link between new high-rise development and heritage places.

Figure 21. Design of development next to the Heritage Overlay



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2.10 Public Realm

Objectives:

- To ensure that contributory elements in the public realm are conserved.
- To ensure that an appropriate setting is preserved for heritage places.

2.10.1 Bluestone street infrastructure

Areas in Moonee Valley that were first developed in the 19th and early 20th century often had an extensive use of the durable local bluestone (basalt) for features such as kerb and channel, and the paving of streets and laneways with bluestone pitches (or pitchers). They are an important part of the historic fabric of heritage precincts and enhance the appreciation of these areas and the buildings within them. These bluestone elements should be preserved and maintained to prevent deterioration wherever possible.

2.10.2 Other public heritage elements

Objects of heritage significance in the public realm should be retained in their original location and configuration where possible. They should be given appropriate, regular maintenance and restored where required under the guidance of the Heritage Advisor.

Objects of heritage significance in the public realm include:

- Water troughs
- Original street lights
- Monuments and statues
- Parks and garden layouts, including garden beds and retaining walls
- Historic canons
- Cast-iron post boxes
- Bridges
- Mile posts
- Early street signs, some of which are attached to building walls.

3. Specific Guidelines

3.1 Front fences

Objectives:

- To ensure fences enhance the character and appearance of heritage places.
- To ensure the retention and restoration of original and early fences.
- To ensure that new and replacements fences are appropriate to the age, style and level of architectural complexity of the heritage place.

Original front fences and gates should be retained wherever possible as a significant feature of the site and part of the building's original presentation. If deteriorated, it is recommended that the fence and gates be repaired or elements replaced like for like where necessary. If one original front fence survives to a duplex or terrace, it should be used as a model for fences in front of the remaining dwellings.

New fences and gates for heritage buildings

If there is no original front fence, then the new fence and gates should:

- If part of a duplex or terrace, be the same as any original surviving or sympathetically reconstructed fences to maintain consistency.
- Not obscure views to the heritage building from surrounding streets.
- Be located along the street boundary.
- Be a maximum of 1.2 metres in height if solid, or a maximum of 1.5 metres if more than 50% transparent. The height should also be appropriate for the period in which the house was built, as fashionable fence heights decreased during the first half of the 20th century.
- Suit the architectural period and level of complexity of the building i.e., simple houses had simple fences.
- Be manufactured of traditional fencing materials – e.g., cast-iron, timber, woven wire, brick, roughcast render – to suit the cladding material of the house. As a rule, timber houses have timber-framed fences – e.g., picket, or post and wire, while brick and masonry houses could have any kind of fence – e.g., metal, brick, timber.

Side fences

Fences around the sides of a front garden can either be the same height as the front fence, or climb gradually to reach the height of the side and rear fence. Fences between front yards should either match the front fence or have a simple form. For houses situated on a corner, either of a side street or laneway, the front fence should continue around the corner at least as far as the front wall of the house.

New fences and gates for Non-contributory buildings

When a fence is required for a non-contributory building, the new fence should:

- Be of a maximum of 1.2 meters in height if solid
- Or a maximum of 1.5 meters if more than 50% transparent
- Stylistically blend in with the surrounding historic context.

3.2 Fence styles

The fence types originally used for heritage houses in Moonee Valley can be divided into the following periods and types:

3.2.3 Victorian fences

Victorian (c1870-1899) fences are relatively high: 1.2 to 1.35 metres for single-storey dwellings and up to 1.65 metres for two-storey dwellings. The two main types are:

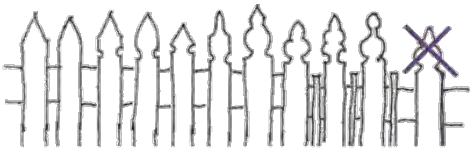
Timber picket fences, either open top (with decorative pickets) or closed top (with a top rail)

- Main posts (120-150 mm square) have simple to fancy terminations at the top (usually turned timber, or a cast-iron cap to grander houses) and the corners are often stop chamfered.
- Intermediate posts are simpler in form, and may be hidden behind the pickets.
- Pickets range from the very plain to a range of fancy shapes.
- Pickets are spaced 25-50 mm apart.
- Although its use is not prohibited, the Windsor picket has been overused especially in front of more modest timber houses and houses from a later architectural period, so its use is not encouraged.
- Gates are timber framed and faced either with the same pickets or decorative panels.

Palisade fences on a bluestone base

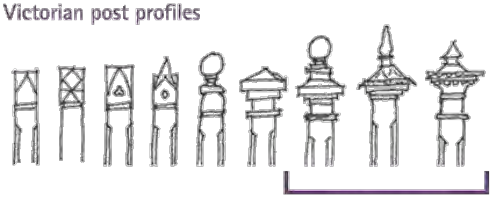
- Main posts range from simple metal poles with caps, chamfered timber (150 mm square) with a cast-iron cap, to cast-iron 'lion' posts and rendered brick posts to more elaborate houses.
- Metal pickets usually have a cast cap or 'arrow head', getting larger and more elaborate along with the house; with complex variations such as alternating picket heights.
- The plinth of the fence is bluestone blocks with a curved or splayed top. Pickets are let into holes filled with lead along the top. It may be appropriate to reproduce the plinth in rendered brick to a traditional profile.
- Gates are of a similar design to the metal pickets used.

Victorian picket profiles



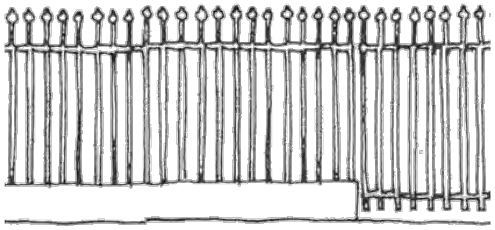
Windsor

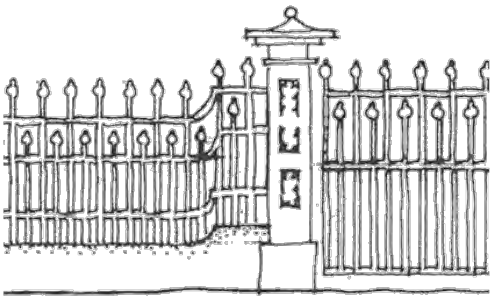
Victorian post profiles



cast iron caps

Palisade fences





3.2.4 Federation/Edwardian fences

Federation/Edwardian (1890-1915) fences are relatively high: 1.2 to 1.35 metres for single-storey dwellings and up to 1.65 metres for two-storey dwellings. The two main types are:

Timber picket fences, either open top (with decorative pickets) or closed top (with a top rail)

- Main posts (120-150 mm square) have simple to fancy terminations at the top of timber, often turned; and often tapered.
- Intermediate posts are simpler in form, and may be hidden behind the pickets.
- Pickets range from the very plain to a range of fancy shapes, with curved tops being particularly popular. Pickets are spaced 25-50 mm apart.
- Gates are timber framed and faced either with the same pickets or decorative panels.

Solid brick or brick and metal fences

- Posts are constructed of brick, often with a decorative rendered cap.
- Brick fences are constructed with special shaped bricks for the plinth and coping, and often have a cut-out detail.
- Brick and metal fences usually have a solid-brick base below a frieze of cast-iron or wrought-iron.
- Gates are timber panelled or of wrought iron (simplified versions of Victorian palisade gates).

3.2.5 Interwar fences

Interwar (1916-1940) fences become progressively lower, starting at around 1.0 metres and reaching 0.6 metres at the end of the period. Transparency was highly desired, to allow views to the house and sunshine into the front garden. The three main types are:

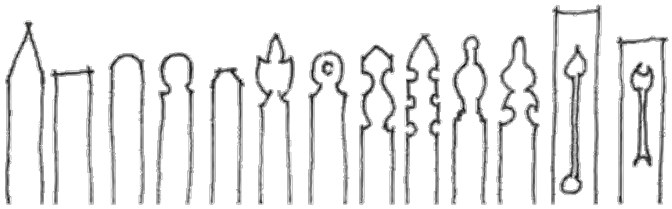
Timber picket fences, either open top (with decorative pickets) or closed top (with a top rail)

- Main posts are simple in form and may have chamfered edges and tops.
- Intermediate posts are even simpler in form and usually hidden behind pickets.
- A limited range of simple pickets are used; for variation alternating groups of short and tall pickets are used. Pickets are spaced 25-50 mm apart.
- Gates are faced with the same pickets or a metal and wire gate can be used.

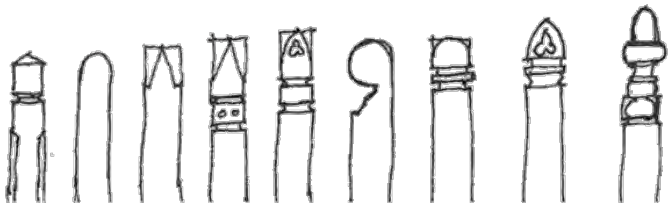
Timber and wire fences, either with woven 'Emu' wire or chain wire mesh

- Main posts are simple in form and may have chamfered edges and tops.
- Intermediate posts are even simpler in form.
- Top rails are either of timber or of metal pipe (particularly with chain wire mesh); both types have a timber plinth board.
- Gates have metal pipe frames and are infilled with a wire to match the fence; fancier gates have an inset of decorative mild steel at the top.

Federation/Edwardian picket profiles



Federation/Edwardian post profiles



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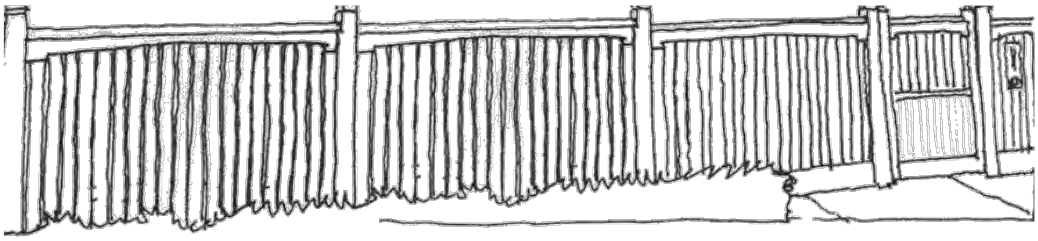
Timber and wire fences, either with woven 'Emu' wire or chain wire mesh

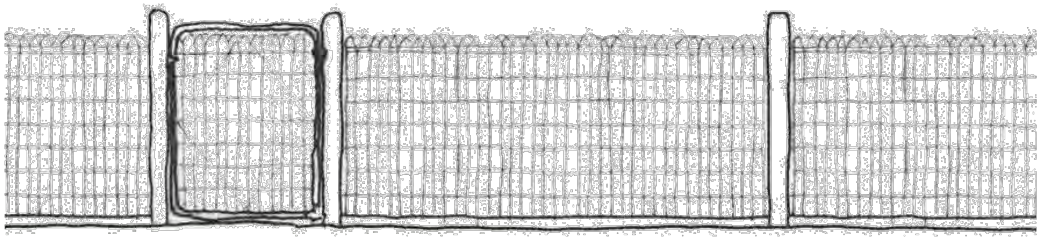
- Main posts are simple in form and may have chamfered edges and tops.
- Intermediate posts are even simpler in form.
- Top rails are either of timber or of metal pipe (particularly with chain wire mesh); both types have a timber plinth board.
- Gates have metal pipe frames and are infilled with a wire to match the fence; fancier gates have an inset of decorative mild steel at the top.

Solid brick or brick and metal fences

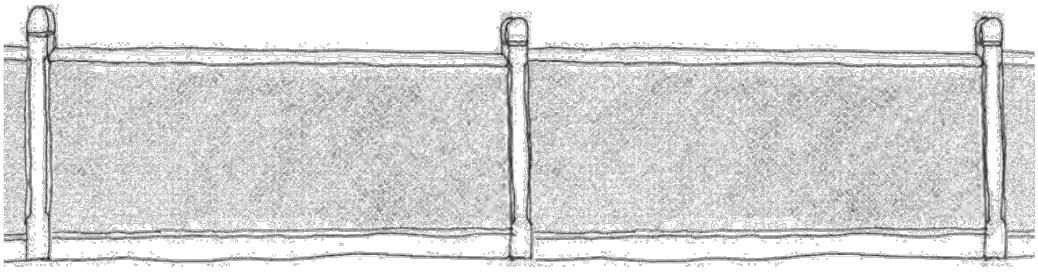
- Main posts are of brick or roughcast-rendered brick, larger posts may be used at gateways.
- Balustrades are of brick or roughcast-rendered brick, often in a combination of the two, such as brick coping above render; tops of balustrades are either straight or in curved between posts (swag). 1930s houses often have mild-steel band at the top.
- Gates are generally of mild steel in simple, geometric patterns.



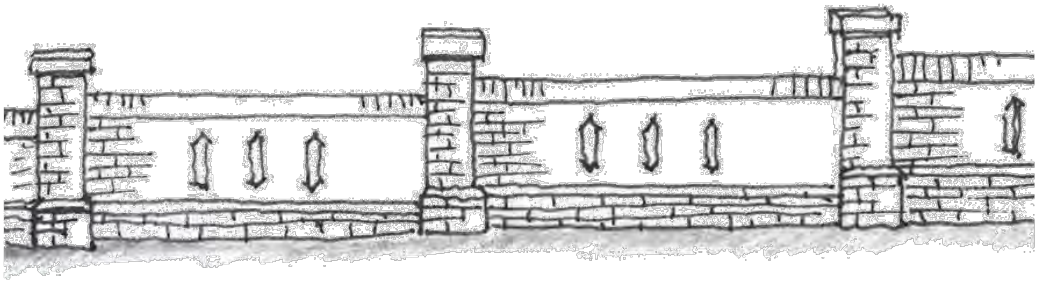
Timber picket fence and gate



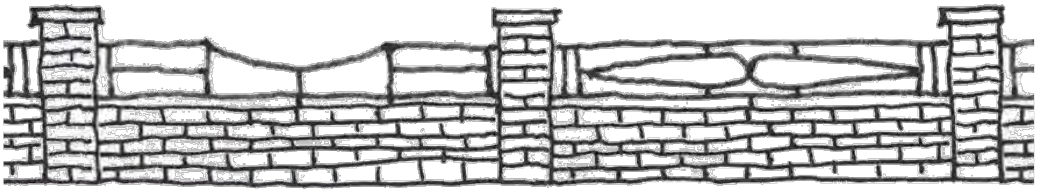
Wire fence with metal pipe rail, timber plinth and timber posts



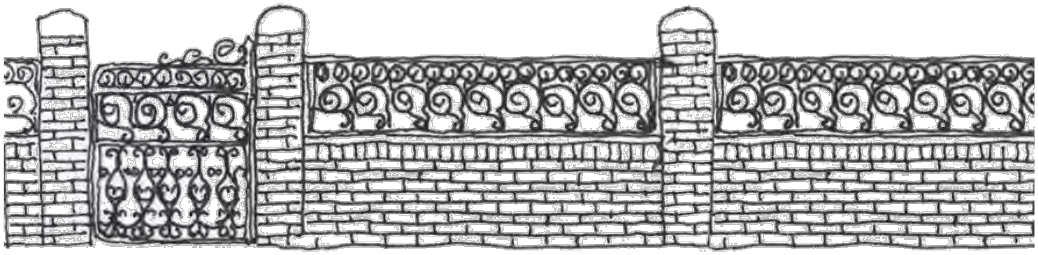
Chain wire mesh fence with timber posts



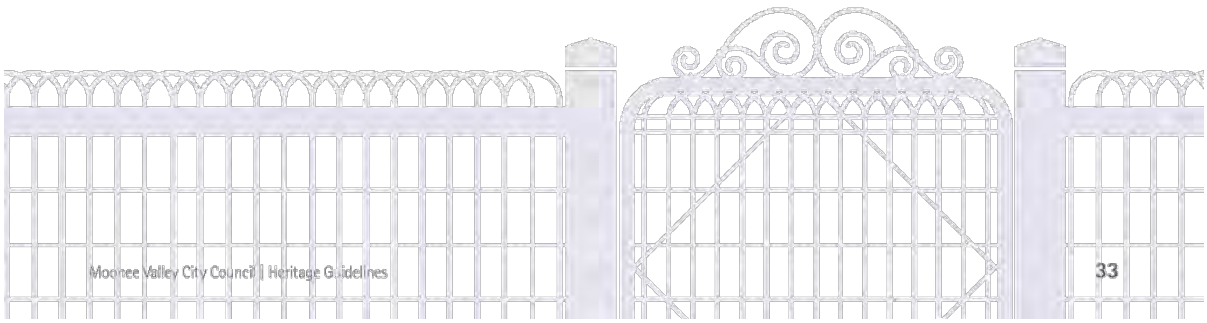
Edwardian brick fence



Brick and mild steel fence (late interwar)



Brick, mild steel and metal pipe fence and gate (early interwar)



3.3 Colour Schemes

Objectives:

- To encourage the use of external paint colours and treatments that enhance the understanding and appearance of heritage buildings.
- To ensure that external treatments that contribute to significance are retained and conserved.
- To ensure that external treatments and paint removal techniques do not damage significant building fabric.

The colours and materials applied, and their placement, are all important parts of the way in which a heritage building was designed to be seen and appreciated. Reinstating traditional colour schemes and placement can result in better definition and understanding of important architectural features. The adoption of a consistent colour scheme is encouraged for terraces or rows of similar buildings.

Council does not encourage overly simplified colour schemes, non-traditional placement of colours, or the use of modern monochrome palettes that are not in keeping with the era of the heritage building. Traditionally, three tones of colours were used to emphasize various components of a building. Monochrome palettes result in a visual reduction of detail and therefor significance.

Many materials were intended for use in their unpainted forms, for example, face brick, roughcast render, asphalt and timber shingles, though timber shingles often had another, translucent coating. These should be left unpainted. Where they have been painted already, owners should consider a gentle cleaning method to restore the beauty of their building. This requires a planning permit to ensure the building is not inadvertently damaged.

Typical colour schemes for the different periods of Moonee Valley heritage buildings are set out below, with diagrams illustrating typical colour placement for different eras (Figure 22 to Figure 25). For typical paint colours, see the printed booklets and colour charts available for use at the Statutory Planning counter in the Civic Centre.

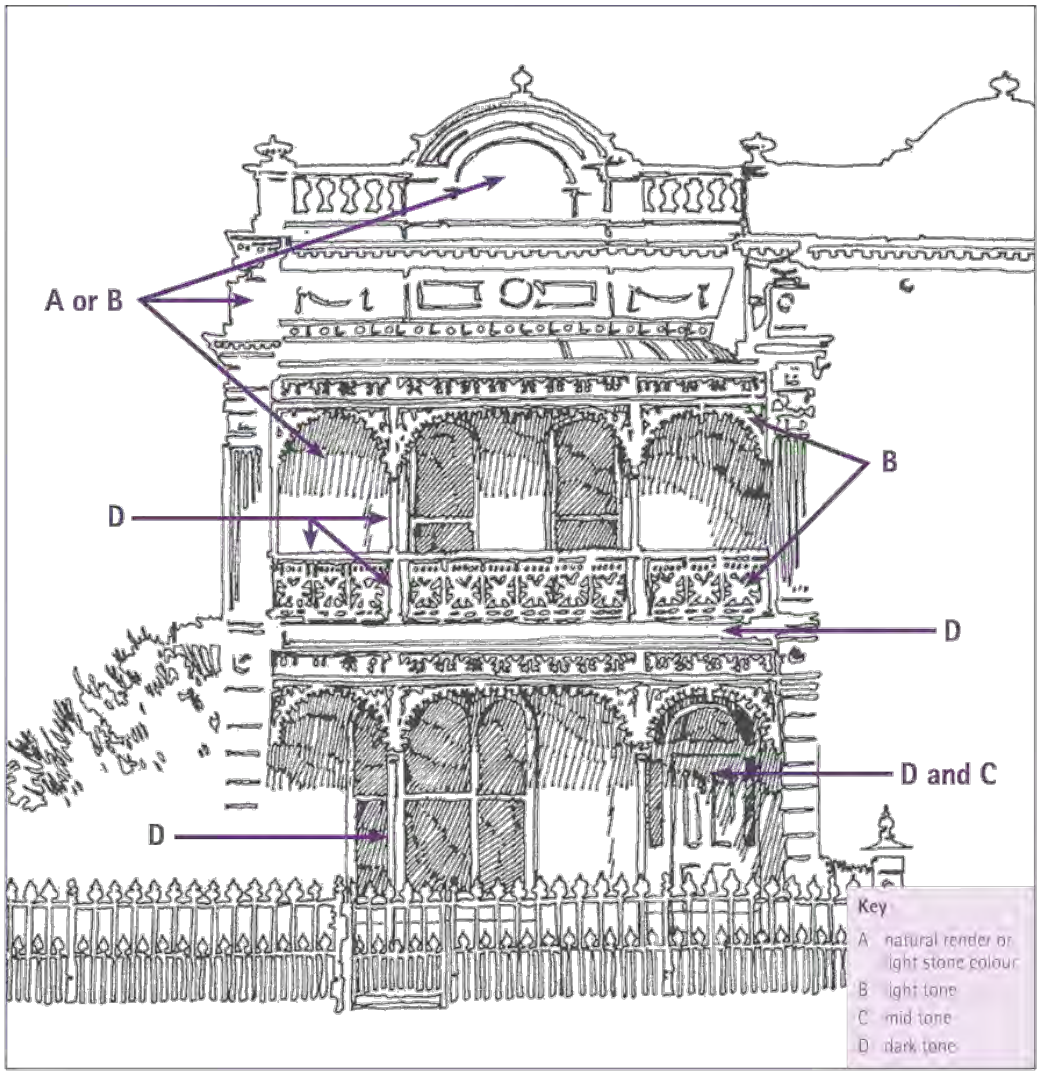
3.3.1 Victorian colour schemes

During the Victorian era (c1870-1899), there was a desire to emulate stone for timber and rendered-brick houses, so colours emulating sandstone, limestone and other stone were popular body colours. Almost all colours were made using natural minerals, such as iron oxide and ochres, which create an earthy, muted and often dark palette. By the late Victorian period (the 1880s) there was extensive picking out of architectural details, especially to complex villa residences.

Typical distribution of paint colours:

- Brick, usually multiple colours (polychromy) – left unpainted.
- Render – left unpainted or tinted to a sandstone or ochre colour with a translucent colour wash or a tinted limewash.
- Weatherboards – stone colours (yellow beige to brown), salmon pink, deep buff; the quoins to ashlar boards might be picked out in a darker colour.
- Dark trim (base course, window sashes, doors frames, verandah posts, frieze brackets, gutters and downpipes, bargeboard) – brown, deep Brunswick green, deep Indian red, Venetian red.
- Light trim (window frames, verandah beam, frieze and brackets) – straw, cream, pale pink.
- Doors – oak graining, in the dark trim colour, or picked out in the light and dark trim colours.

Figure 22. Victorian Boom style terrace paint scheme



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3.3.2 Edwardian colour schemes

At the turn of the century there was a rejection of the strong, muddy colours used in the Victorian era, in favour of lighter shades during the Edwardian era (c1900-15). There were two predominant colour schemes in this period: shades of green, and cream with shades of buff or oxide red. It was also popular to combine dark green and dark red trim.

Typical distribution of paint colours:

- Brick & render – left unpainted, red bricks. If render has been previously painted, recoat with a matt or textured-finish paint in shades of cream or light grey.
- Weatherboards – manilla, biscuit, buff, light cream or light green.
- Dark trim (base course, window frames, doors frames, verandah posts, frieze brackets, gutters and downpipes, bargeboard) – deep red, olive to Brunswick green, deep buff.
- Light trim (window sashes, verandah beam, frieze and brackets) – beige, biscuit, light stone, pale cream, off-white, pale green.
- Doors – either in the dark or light trim colour, sometimes with the panels picked out in an even lighter colour.

Figure 23. Edwardian paint scheme

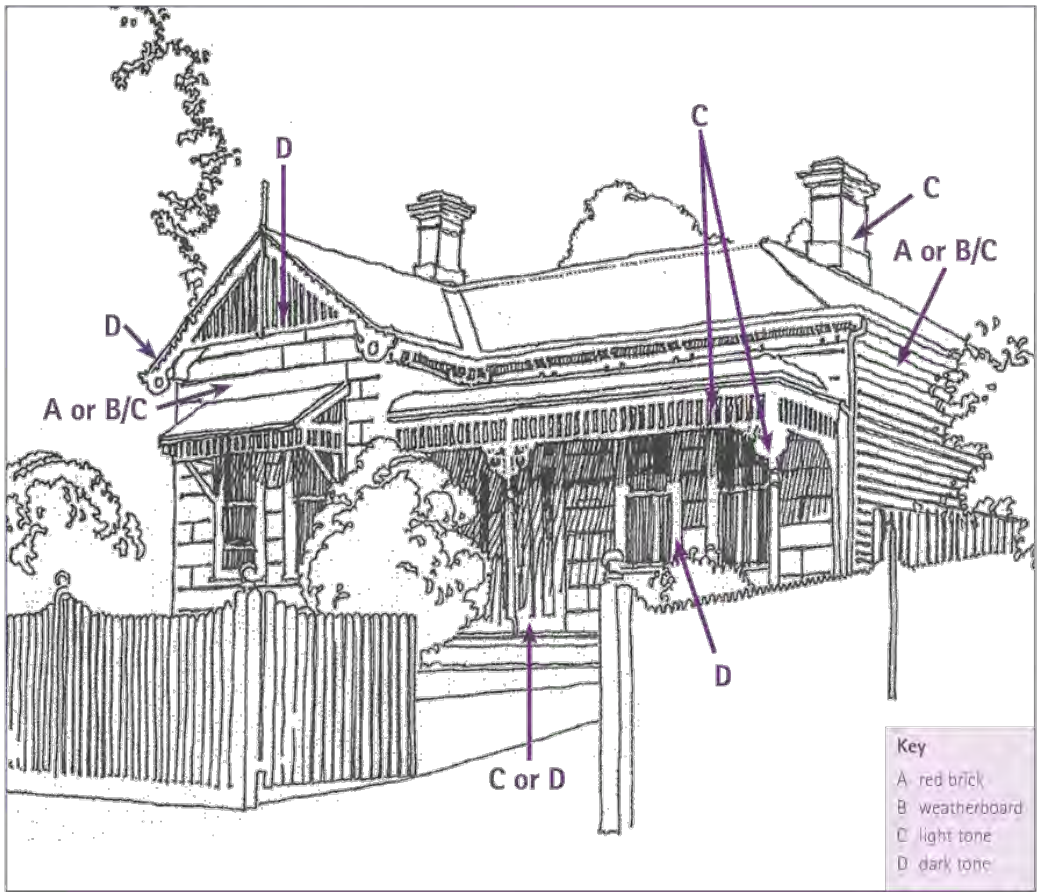
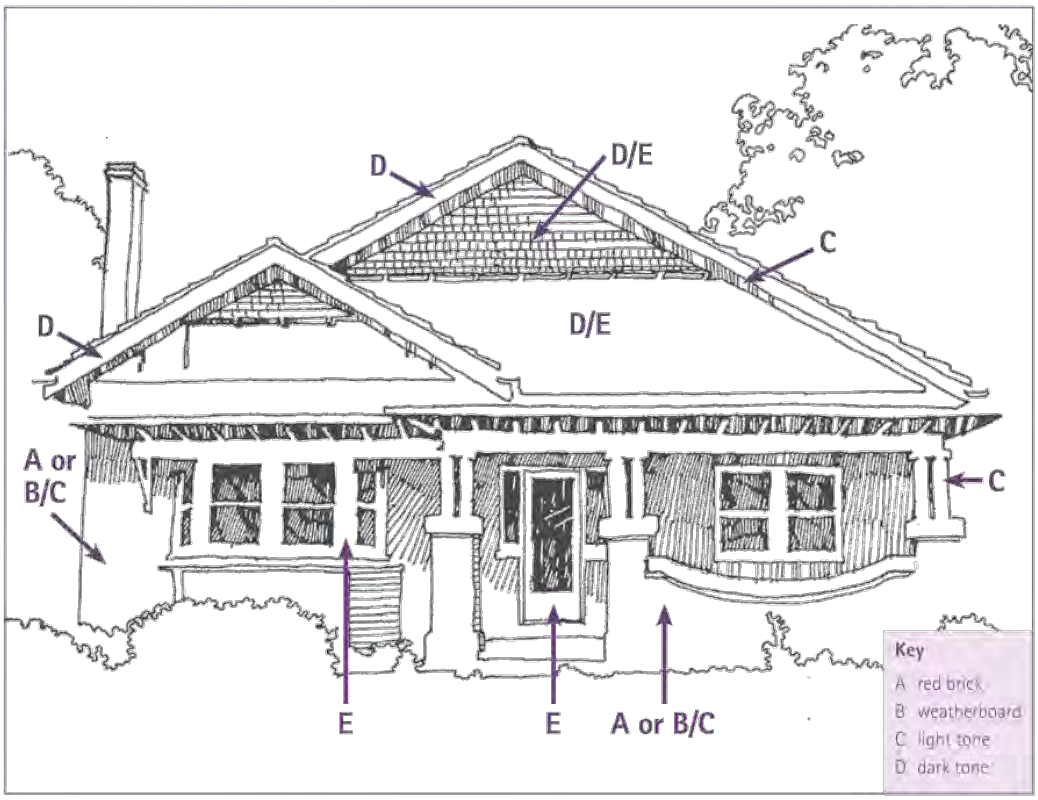


Figure 24. Californian Bungalow paint scheme



3.3.3 Early interwar colour schemes

Colour schemes in the late 'teens and 1920s often consisted of only two or three contrasting colours plus unpainted materials (face brick, roughcast render and timber shingles). Timber shingles were either left uncoated to weather to an attractive grey, or were oil stained or creosoted in a range of shades (brown, dark green and black). Paint colours were muted and soft, as if to blend in with a natural setting.

Appropriate schemes include:

- Brick & render – left unpainted; red or multi-coloured clinker bricks. If render has been previously painted, recoat with a matt or textured-finish paint in light colours such as pale grey, beige, off-white or stone colours.
- Weatherboards – mid-range body colour such as warm grey, pink-beige, light stone, fawn, beige, buff and brown.
- Dark trim colour (window frames, front door and sidelight including frames, door threshold, barge-boards to house and verandah, triangular eaves brackets, gutters and downpipes, modillions (curved brackets) and soffit below gable shingles) – deep Indian red, dark brown, terracotta, medium to dark green.
- Roofing (corrugated metal or concrete tiles) was often green if green was the dark trim colour.

Light trim colour (window sashes and glazing bars, verandah posts, lining boards of eaves soffit, verandah beam, verandah ceiling) – cream, off-white, pale green.

3.3.4 Late interwar colour schemes

In the 1930s, colours used on house exteriors began to move away from the deep, earthy colours favoured on California Bungalows. Popular colour schemes for houses of this period include green and cream, brown and cream, and brown and stone. Colour placement was as follows:

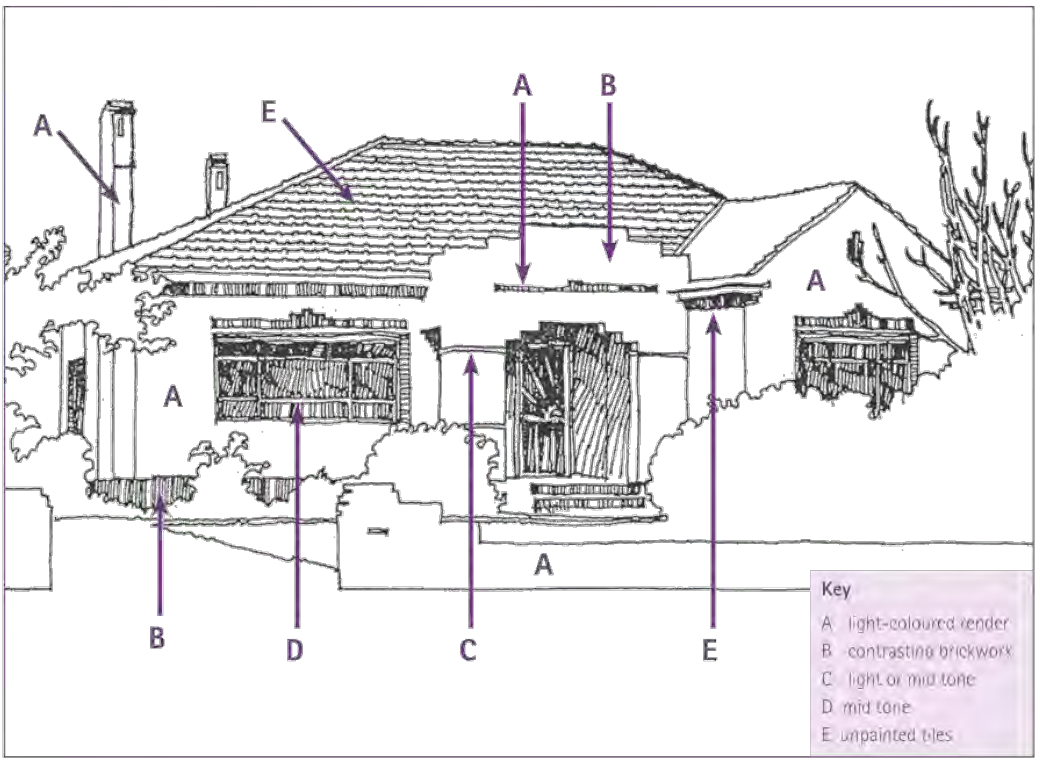
- Brick – unpainted; bricks red, clinker or orange to cream coloured.
- Render & weatherboards – off-white, cream, buff, stone, buff-pink, terracotta (use matt paint for render).
- Trim colour (front doors, windows, eaves fascia) – apple green to forest green, light to dark brown. Windows could also be white, off-white, ivory, tan.
- Dark trim colour (gutters and downpipes) – dark colours (often a darker version of the trim colour), such as dark green, deep Indian red, chocolate brown.

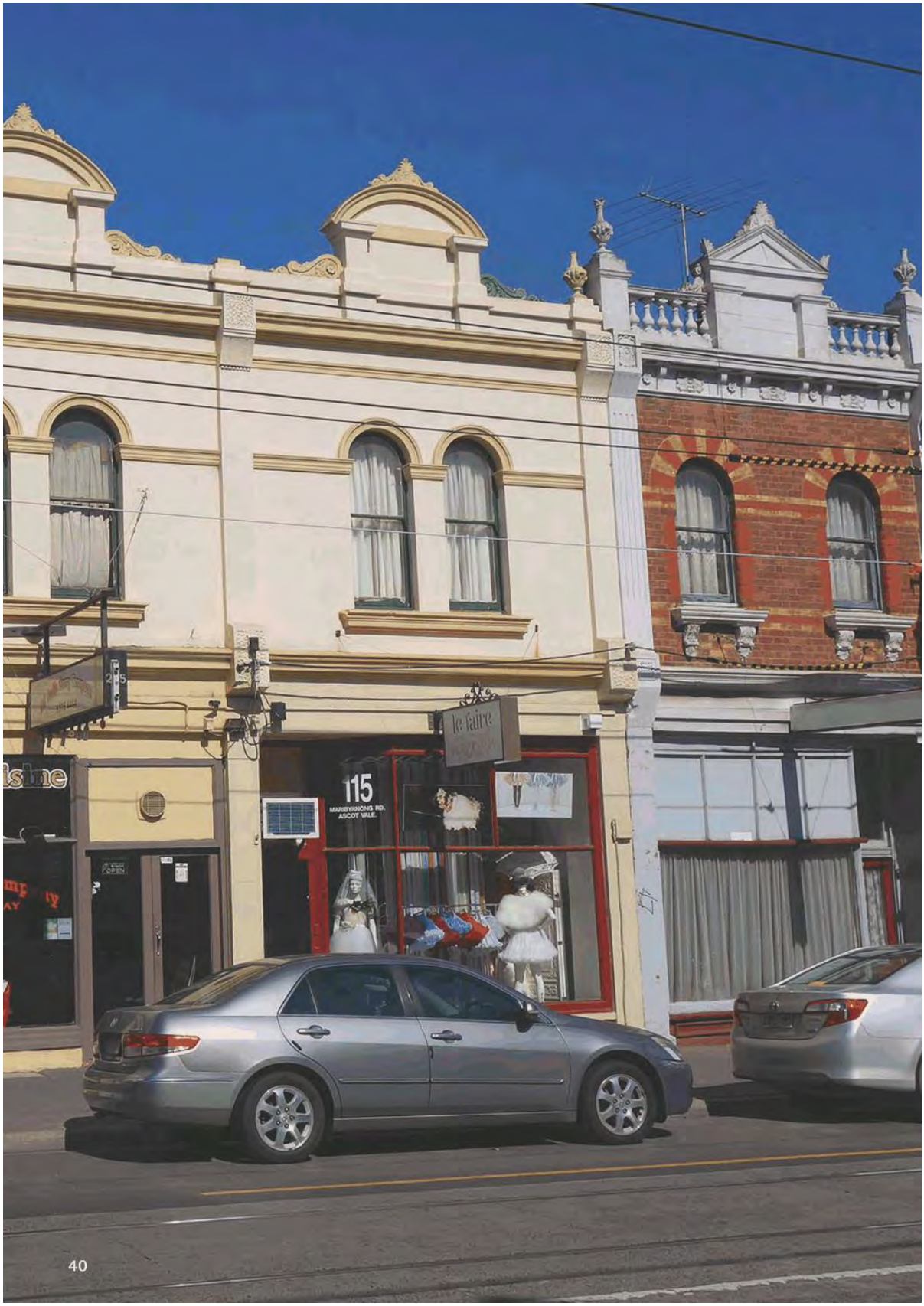
3.3.5 Early post-war colour schemes

During the 1940s, and into the 1950s, house colour schemes were generally low-key, using light, restrained colours. Appropriate colour schemes for brick and rendered houses of the 1940s have two or three components:

- Brick – unpainted; red, clinker or cream bricks.
- Render – leave unpainted, or repaint using matt paint in ivory, off-white, cream, light grey, of buff.
- Timber elements (windows, doors, eaves fascia) – light colours such as off-white, cream, pale green, light blue.
- Metal elements (gutters and downpipes) – dark colours such as Indian red and dark Brunswick green.

Figure 25. Late interwar paint scheme

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3.4 Additional Matters for Commercial Heritage Buildings

Objectives:

- To conserve significant shopfronts and their parts, e.g., stallboard, display windows, highlight windows, entrance door.
- To encourage new shopfronts to relate to the period and style of the heritage building, using authentic details.
- To conserve significant original and early verandahs and their parts.
- To ensure that new verandahs are sympathetic to the heritage building.
- To conserve signs that contribute to the significance of the heritage place.
- To ensure that new signage does not detract from the significance of the heritage building or precinct in its placement, size, quantity and design.

There are many high-quality commercial buildings on Moonee Valley's Heritage Overlay, many of them part of large shopping strips. Much of these general guidelines apply directly to commercial heritage buildings (including to those now converted to residential use), but there are a few additional matters that need to be considered, particularly in relation to shopfronts, verandahs and signage. These additional matters are addressed here.

3.4.1 Shopfronts

The ground floor of a retail building is taken up by a shopfront, which is the main public interface. The traditional features of heritage shopfronts and their high design quality and decorative details are an important part of heritage streetscapes. See *Figure 26* for examples of heritage details of commercial buildings.

Shopfronts are frequently replaced, making original and early shopfronts that survive, in whole or in part, particularly valuable. Generally, replacement shopfronts installed prior to WWII in an earlier commercial building (e.g., Victorian) are also valued and may be protected under the Heritage Overlay.

The following principles are followed for original or early shopfronts in heritage buildings:

- Original shopfronts, or individual parts that survive in an altered shopfront, should be retained and repaired as required.
- The reinstatement of missing/altered features to an altered shopfront is encouraged.
- Removal or replacement of original parts of original/early shopfronts will not be supported.

Designing a new shopfront is a wonderful opportunity to re-integrate the architectural character of the upper facade or parapet with a ground floor whose character may have been lost with previous unsympathetic shopfront designs. It may be appropriate to replace a shopfront with a reproduction, providing that:

Guidelines – New shopfronts:

- This does not require the removal/demolition of a full or partial early shopfront that is of heritage value, though not necessarily the original.
- The design is based on documentary evidence, or, where this is not possible, is based on the typology for shopfronts of that period. See *Figure 26* for some examples.

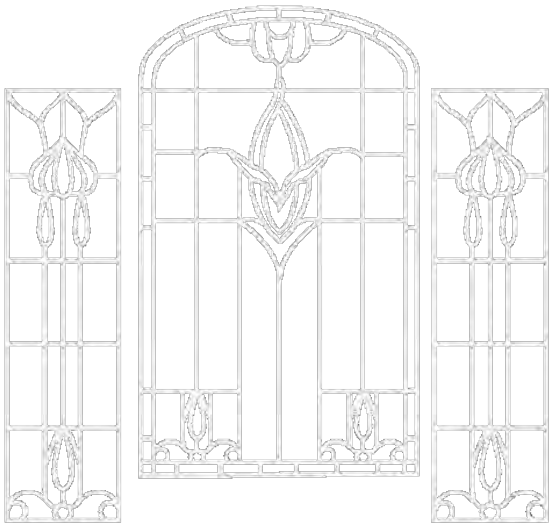
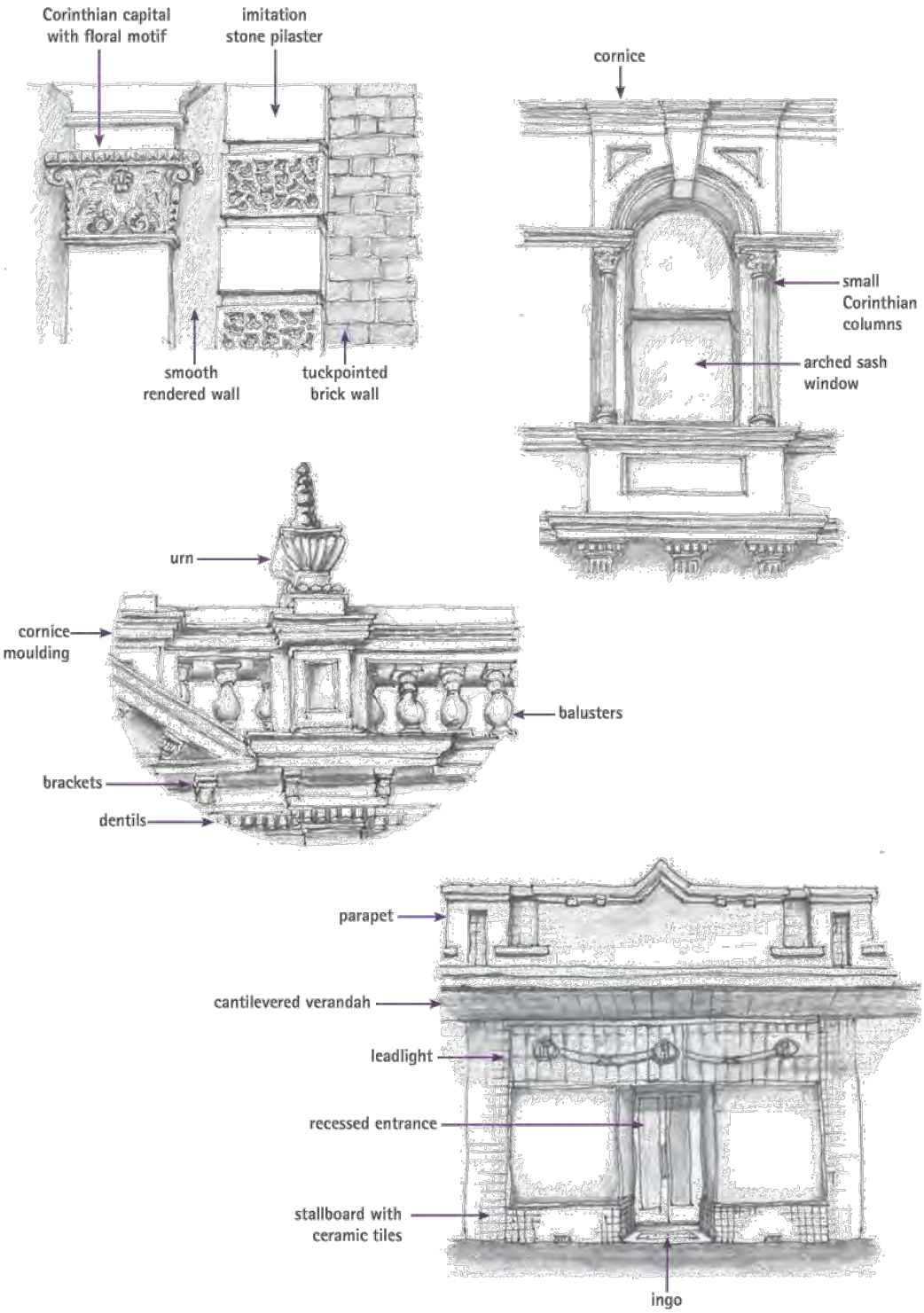


Figure 26. Commercial building details



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Victorian shopfronts

- Shopfronts were often set back slightly (75-100 mm) from the front boundary to give greater expression to the masonry piers on either side. Stallboards were of timber or rendered brick with moulded panels, up to 700 mm high. Display windows were timber-framed and had fixed display windows below highlights. Entrance doors were recessed.
- Window framing elements were slender in the manner of the period (avoid thicker aluminium sections).
- Transoms corresponded with heights of existing contributory windows.
- Doors had a painted finish rather than exposed clear timber treatments.

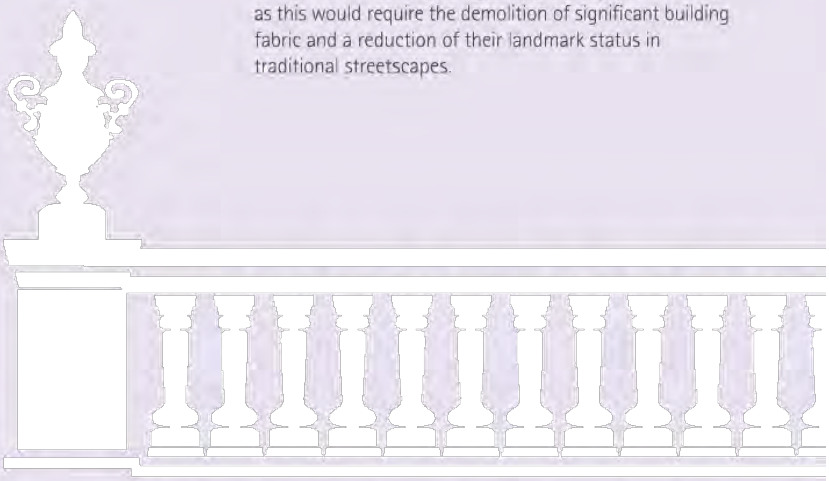
Early 20th-century shopfronts

- Shopfronts were generally located flush with the front boundary, apart from a recessed entry which often had one or two splayed sides depending on its placement i.e. in the centre or on one side of the shopfront. Stallboards were usually solid brick faced with ceramic tiles, up to 700 mm high. Tiles also covered the piers on either side of the shopfront. Windows were metal framed or the frames were timber clad with moulded metal, and had fixed display windows below highlights. Doors were usually glazed with a timber frame.
- The soffit lining to the underside of verandah roofs often consisted of pressed metal ceiling panels reflecting the design of the period.
- Glazing was clear and did not include glass bricks, obscure or tinted glazing.
- Highlight windows often consisted of leadlight in curvilinear Art Nouveau or geometric Art Deco patterns.
- Plain canvas awnings of appropriate colour were hung to the underside of the verandah. These are an accepted shading device for historic shopfronts.

Unsympathetic framing treatments such as anodised aluminium, frameless glazing, bulky openable timber panels for cafes, bi-fold doors and corporate shopfront design elements do not suit commercial historic buildings.

Security roller doors are discouraged for Contributory and Non-contributory shopfronts with the exception of an appropriate concertina latticed grille that suits a particular shopfront.

Note that commercial buildings such as banks, post offices and hotels did not have shopfronts and often have smaller windows and more architectural expression to the ground floor. It is not appropriate to create larger openings in the walls of such buildings to install display windows, as this would require the demolition of significant building fabric and a reduction of their landmark status in traditional streetscapes.



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3.4.2 Verandahs

Prior to the interwar era, almost all retail buildings had a timber or cast-iron posted verandah that covered the footpath and provided shelter from the sun and rain to customers and passers-by. In the interwar period, new buildings began to have cantilevered verandahs or those suspended on cables to emulate this post-less form. All original shop verandahs add to the significance of heritage commercial buildings, and the same is sometimes true for well-detailed cantilevered verandahs used to replace original posted verandahs.

Guidelines – significant verandahs:

- Original posted and cantilevered verandahs, or their parts where the verandah is altered, should be retained and repaired as required. This includes details such as the pressed-metal soffits and moulded metal fascias to cantilevered verandahs.
- For cantilevered verandahs, decorative fascias should not be concealed by signage.
- For cantilevered verandahs, the original height of the fascia should not be increased, either permanently or with applied signage.

Guidelines – new verandahs:

In some cases, it may be appropriate to install a reproduction verandah, provided that:

- This does not require the removal/demolition of a full or partial existing verandah that is of heritage value, though not necessarily the original.
- The design is based on documentary evidence, or, where this is not possible, is based on the typology for shopfronts of that period.

Note that commercial buildings, such as banks, post offices and hotels, generally did not have verandahs, and it would only be appropriate to install a reproduction verandah if based on clear documentary evidence that one existed.

3.4.3 Signage

Early surviving signage, such as that painted on a side wall or parapet should be retained.

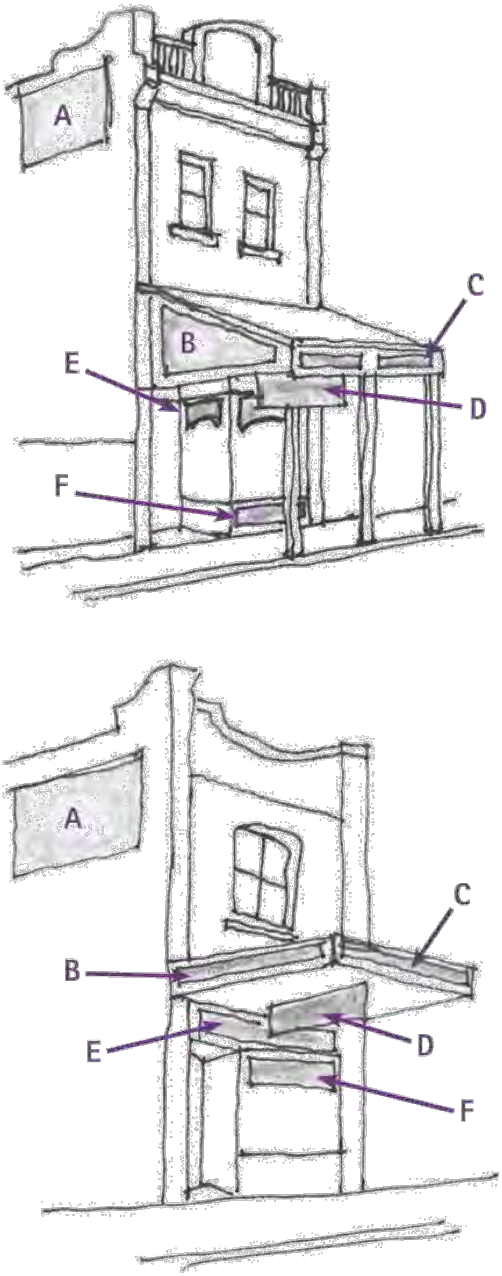
When installing new signage on heritage buildings, the following principles should be followed:

- Signs should not dominate the heritage building or block views to any significant features (including windows or front gardens), nor should they dominate or detract from the appearance of nearby heritage buildings. *See Figure 27.*
- Signs should be placed in the traditional areas set out for signage, as indicated by the individual building's design or the examples illustrated in *Figure 27.*
- Fixings of new signs should not damage the fabric of the heritage building.
- Corporate colour schemes, including paint, should be restricted to traditional signage areas, such as the verandah fascia and entry but only if these surfaces have been previously painted.
- Where an appropriately designed and sized sign does not detract from the parapet, it may be considered.
- Excessive signage is not permitted and detracts from the aesthetic value of heritage commercial streets. Note that the existence of excessive, unsympathetic signage (which is often lacking a permit) in the area does not serve as suitable justification for the approval of unsympathetic signage designs and quantities.
- Illuminated signage is only permitted in a heritage precinct or for other heritage buildings when it is located below the verandah level.
- Respectful but contemporary design is preferred for signs on heritage buildings.

Key

A signage to exposed upper sidewall/s
B signage to exposed side verandah fascia or verandah frieze
C signage to front verandah fascia
D sign under verandah (may be illuminated)
E signage behind shopfront glazing
F signage to stallboard

Figure 27. Historic shopfronts with appropriate commercial signage



Appendix 1 – Glossary

Burra Charter definitions	
Adaptation	Modifying a place to suit the existing use or a proposed use.
Associations	The special connections that exist between people and a place.
Conservation	All the processes of looking after a place so as to retain its cultural significance.
Crossover	The transition between a roadway and a property to allow for vehicle access.
Cultural significance	Aesthetic, historic, scientific, social or spiritual value for past, present or future. generations
Fabric	All the physical material of the place including components, fixtures, contents and objects.
Maintenance	The continuous protective care of the fabric and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction.
Place	Site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.
Preservation	Maintaining the fabric of a place in its existing state and retarding deterioration.
Reconstruction	Returning a place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric.
Restoration	Returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
Setting	The area around a place, which may include the visual catchment.
Use	Means the functions of a place, as well as the activities and practices that may occur at that place.

Architectural definitions

(Based primarily on Apperly et al, *A Pictorial Guide to Identifying Australian Architecture*, 1989.)

Arch	Usually a curved structure forming the head of an opening and supporting the wall above. Common arches are round, pointed, segmental and flat.
Architrave	The lowest or load-bearing member of a classical entablature. Also, the moulded trim around a doorway or window.
Ashlar boards	Wide timber cladding boards produced to imitate large rectangular stone blocks.
Baluster	A member supporting a handrail or coping if atop a parapet. A series of balusters forms a balustrade.
Bargeboard	A sloping board fixed to the edge of a gable roof to conceal the roof construction. It may be plain or decorated.
Base course	The external cladding of the base of a building (below ground floor level), often visually differentiated from the wall above.
Bracket	A support, often angled, curved or decorative, for a projecting horizontal member.
Casement	A window hinged on one of its vertical edges, so as to open either inwards or outwards like a door.
Ceramic tiles	A fired-clay produce composed of a flat clay body, usually with a decorative surface glaze. Popular on shopfront stallboards in the early 20th century.
Chamfer	The corner of an element that is cut off at an angle. When the chamfer terminates before the ends of the element, such as a timber post, it is called a stop chamfer.
Chimney stack	The part of a chimney that projects above the roof.
Chimney breast	The horizontal projection of a chimney from the wall in which it is built, either internally or externally.
Column	A freestanding load-bearing vertical member, usually circular in plan. In classical architecture it consisted of a base, shaft and capital and supported an entablature.
Creosote	A dark brown oil distilled from coal tar and used as a wood preservative and external coating.
Double-hung	A window with two vertical sliding sashes, one over the other.
Eaves	The lower edge of a roof, intended to through rainwater clear of the wall. The horizontal board is called the eaves fascia. Projecting eaves either have exposed rafters or boxed rafters. The covering beneath boxed rafters is the eaves soffit.
Façade	The face or front of a building.
Fretwork	Ornamental design in timber, typically openwork, done with a fretsaw or jigsaw; often used for the verandah frieze of Edwardian houses.
Frieze	A continuous band of decoration round the top of a building or wall, or set below a verandah beam (such as cast-iron decoration).
Gable	The upper triangular portion of an external wall at the end of a doubly pitched roof. Also, used as a decorative device in a parapet.
Half timbering	A type of construction composed of exposed timber framing and infilled with render; often reproduced as decoration with applied timber members and roughcast render or with cement sheet with the joins concealed by timber strapwork.

Leadlight	A decorative window made of small sections of clear or coloured glass supported in lead cames.
Lintel	A single member spanning horizontally over an opening.
Massing	Refers to the arrangement of elements within a building such as the proportion of 'positive' or solid elements such as walls in relation to 'negative' elements such as windows or voids.
Moulding	A contoured band used to embellish a wall or other surface. Each style has its own typical moulding.
Parapet	A wall built up higher than the line of the roof, typically to hide the roof surface.
Pier	A solid masonry support more massive than a column, usually square in plan.
Pilaster	A decorative shallow pier attached to or part of a wall as though it were a classical column embedded in the wall.
Pitch	The degree of the slope of a roof.
Pointing, tuck pointing	The finished mortar treatment of masonry joints.
Render / Stucco	A thin decorative finish, typically composed of lime, sand and other ingredients, applied to external masonry facades.
Roughcast	Plaster, mortar or render containing pebbles or coarse gravel to give a rough, knobbly texture to the walls.
Sash	A frame for holding the glass of a window, including sliding sashes and casement sashes (which are hinged like a door).
Shopfront	The front side of a store facing the street. Heritage shopfronts usually include a solid stallboard, display windows in timber, metal or metal-covered timber frames, highlight windows, timber or timber and glazed entry door, recessed entry with tiled floor and panelled or pressed-metal soffit.
Sidelight	Windows placed on either side of another window or door that are narrower than the centre opening.
Sill	The lower horizontal part of a window or door opening.
Soffit	The underside of a structural component, such as a beam, arch, staircase, or cornice.
Transom	The horizontal part at the top of a window or door frame that separates it from windows above.
Urn	A vase with a rounded bottom on a base, often executed in cast-concrete and installed at the top of parapets along with a spherical version called an orb or balloon.
Verandah	An open area attached to a building supported by the building on one side and posts and columns below a verandah beam on the other. Verandahs are often ornamented with a timber or cast-iron frieze below the verandah beam, and/or brackets affixed to verandah posts.
Verandah tiles	Unglazed terracotta tiles, some with encaustic designs, common for Victorian-era verandah floors.
Weatherboard	A long, thin board fixed horizontally, with overlapping edges, as an external wall covering.

Appendix 2 – Architectural Styles Guide

Architectural Styles Guide

This is a guide to some of the most common historic house types and commercial buildings protected in the Moonee Valley Heritage Overlay. It is intended to inform building owners and users of the features and setting typical for each building type. These elements are part of the historic significance of Moonee Valley's heritage buildings and should be treated with care.

The building types and styles reviewed, and the approximate date ranges they were built, are the following:

- Victorian timber cottages (1860s-1900)
- Victorian (Italianate) villas (1870s-1890)
- Victorian duplex and terrace houses (1860s-early 1890s)
- Federation/Queen Anne villas (1895-1910s)
- Edwardian single-fronted houses (1900-1910s)
- California Bungalows (1915-1940)
- Moderne/Art Deco houses (1920s-1940s)
- Spanish Mission & Mediterranean Revival (1920s-1930s)
- Old English/Tudor Revival (1930s-1940s)
- Early post-war/Austerity (1940s)
- Victorian & early 20th-century commercial buildings

Victorian timber cottages (1860s-1900)

Typical features

Roof form: Hipped or M-hip roof form, sometimes gable-fronted. Generally a skillion to the rear.

Materials: Corrugated iron or slate to the roof, weatherboard to the walls, sometimes mock ashlar cladding (boards imitating stone work). Timber to the verandah floor.

Façade composition and form: Symmetrical façade, single or double-fronted, duplexes and triplexes (generally divided by a party wall). Verandah roofs separate from main roof form, covering full width of façade, supported by chamfered timber posts or slender columns with Corinthian capitals. Verandahs skillion or hipped; convex, concave, bull-nosed or skillion in profile. Door centrally located for double-fronted houses.

Chimneys: Brick chimneys, generally rendered with a cornice mould, face brick chimneys corbelled, sometimes polychrome, placed symmetrically or centrally.

Ornamentation: Brackets and battens to the eaves, cast iron lace to the verandah. Often several cottages were built by a single builder in an area sharing the same overall design and details.

Windows and doors: Double hung timber sash windows, ornamental horns to sashes, principle windows often with leadlight/coloured sidelights. Panelled entrance door, sometimes with bolection moulds, highlights and sidelights.

Set backs: A small setback behind a minimal or non-existent front garden.

Fences: Timber picket fence and gate. Side fences are often corrugated galvanised iron or timber palings.

Victorian (Italianate) villas (1870s-1890)

Typical features

Roof form: Low-pitched hipped or M-hipped roof with a shallow convex profile to the verandah (not bull-nosed), separate from the main roof form.

Materials: Slate (sometimes patterned) or corrugated iron to the roof, always iron to the verandah. Walls are weatherboard, mock ashlar cladding (boards imitating stone work), polychrome brick, cement render. Timber boards or tessellated tiles to the verandah floor. The plinth, threshold and window sills may be bluestone.

Façade composition and form: Symmetrical or asymmetrical facade, single or double-fronted, freestanding. Asymmetrical variety has projecting hip-roof bay, sometimes with a canted bay window. Verandah usually supported by cast iron or timber columns with cast iron Corinthian capitals. Verandah may have a return portion. Large windows are double-hung sashes, often with sidelights, sometimes with a round or segmentally arched head.

Chimneys: Rendered or polychrome brick with cornice moulds, generally placed symmetrically.

Ornamentation: Cast iron lace to the verandah, deep cornices with moulding and brackets. Coloured or stained glass to window and door surrounds. Ornamental horns to the sash windows and bolection moulds to the door panels. More ornate villas have cast cement stringcourses, mouldings to window head and surrounds and impost moulds, towers projecting from roof.

Windows and doors: Heavy four-panelled door, sometimes glazed, fanlight and sidelights. Single or pairs of double-hung sash windows, sometimes with sidelights. Bluestone threshold and window sills.

Set backs: Medium set back, usually allowing for a small garden.

Fences: Timber picket or cast iron palisade fences on a stone plinth with end piers, and pedestrian gates.

Victorian duplex and terrace houses (1860s–early 1890s)

Typical features

Roof form: Low-pitched hipped, M-hipped roof. Sometimes gabled or transverse gabled roof (ridge running parallel to the street). Early duplexes and terraces may have a shared roof form with no party walls. Later, roof form hidden behind a parapet. Projecting party walls, chimneys and a prominent concave or convex verandah. The bullnose profile became popular for verandahs in the 1890s.

Materials: Roof and verandah clad with (patterned) slate or corrugated iron. Polychrome brick or cement render (ruled to resemble stone) to the walls, cement render and cast cement ornament to the parapet. Tessellated tiles to the verandah floor, sometimes marble. The plinth, threshold and window sills are bluestone.

Façade composition and form: Duplex (two dwellings) or terrace in form (three or more dwellings), single or double-fronted, one or two-storeys tall. Two-storey terraces have a double-height verandah. Each terrace with a generally symmetrical façade, often with an integrated parapet design. Where used, verandah supports are cast iron or timber columns. Single-fronted dwellings have a single or pair of sash windows located next to an off-set door.

Chimneys: Brick chimneys often hidden behind the parapet, either rendered or corbelled. 1880s terraces often have an elaborate cornice to the chimney.

Ornamentation: The elaboration of the parapet varies, but generally with a deep cornice moulding, stuccoed and decorated in relief with pilasters, balusters, brackets, scrolls, floral motifs and often topped with a Greek pediment. Cast-cement brackets beneath the eaves, cast iron lace to the verandah and first-floor balustrade. Coloured or stained glass to windows and door surrounds.

Windows and doors: Four-panelled doors (sometimes with fanlight and sidelights) and single or pairs of double-hung sash windows (sometimes with sidelights). Bluestone threshold and window sills.

Set backs: Set close to the street, or with a small to medium setback allowing for a front garden.

Fences: Timber picket or cast iron palisade fences on a stone plinth with end piers, pedestrian gates.

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Federation/Queen Anne villas (1895–1910s)

Typical features

Roof form: Complex and steeply-pitched hip and gabled roof form. Larger houses often with turrets, gablets and false dormers, multiple dominant chimneys. Low verandahs (sometimes return) often an extension of the main roof form.

Materials: Roof and verandahs clad with corrugated iron, slate or Marseilles tiles (for brick houses). Black tuck-pointed red brick or square-edged weatherboard to the walls. Roughcast render (or pressed metal to imitate rough-cast render) to gable ends and bold horizontal bands. Gable ends also with timber strapping to mimic half-timbering, or a decorative timber trusswork. Verandah floor is timber, occasionally tiles. Bluestone windows sills and plinth.

Façade composition and form: Asymmetrical and picturesque in form, freestanding larger houses have a diagonal emphasis and a complex roof form above a verandah, often with a gabled entrance porch. Projecting gabled bays are asymmetrical or at right angles to each other. Verandah supported by turned timber posts with timber capitals and fretwork.

Chimneys: Tall ornate brick chimneys, sometimes in fluted shapes, face brick often with band of roughcast. Cornice and terracotta pots.

Ornamentation: Houses clad with Marseilles tiles can have terracotta ridge capping to the roof with ornate terracotta finials. Weatherboard notched to look like bands of shingles. Timber fretwork (often a ladder frieze plus brackets) to the verandah, gable ends and sometimes the eaves. Picturesque leadlight. After 1905, ornamentation (particularly timber fretwork and leadlight detail) became more curvilinear, reflecting Art Nouveau principles.

Windows and doors: Casement windows usually in groups of three or double-hung windows with ornamental horns to sashes. Circular and arched windows, projecting window bays, coloured glass or leadlight. Doors with (three or four) panels and bolection moulds, sometimes with fanlights. Glazing to the top third of the door.

Set backs: Medium-deep setback allowing for a front garden.

Fences: Timber pickets, sometimes brick with decorative metalwork.

Edwardian single-fronted houses (1900-1910s)

Typical features

Roof form: Gable-fronted, or high hip with gablets at top. Verandah is a continuation of the main roof form, or separate with a skillion or bull-nosed profile.

Materials: Roof and verandahs clad with corrugated iron, slate or Marseilles tiles (for brick houses). Walls are brick (often tuck-pointed) or weatherboard, with accents of roughcast render.

Façade composition and form: Freestanding, duplex or terrace in form. Usually single-fronted, generally with a gable end to the street front, window bay below. Low verandah that is the full length of the façade or to one side of a projecting gabled bay, above the entrance. Verandah is supported by turned or square timber posts with timber capitals.

Chimneys: Tall face brick, often with bands of rough-cast render of stucco, cornice corbelling, terracotta pots.

Ornamentation: Houses clad with Marseilles tiles can have terracotta ridge capping to the roof with terracotta finials. Timber finials to the ridge ends and roughcast render and timber strapping to the gable-ends to reflect half-timbering, alternatively decorative timber trusswork. Timber fretwork, valences and brackets, sometimes cast iron lace in linear patterns to the verandah. Often several cottages were built by a single builder in an area sharing the same overall design and details.

Windows and doors: Tall timber casement or double-hung sash windows, sometimes single windows have arched heads. Hoods to window openings. Doors are three or four-panelled, with narrow vertical panels and a large top panel, sometimes with leadlight.

Set backs: Small setback, allowing for a minimal garden.

Fences: Timber pickets and gates.

California Bungalows (1915-1940)

Typical features

Roof form: Early houses may have a hip-and-gable roof with prominent gable ends, later transverse gable (ridge parallel to street) and gable-fronted forms often with a secondary gable over the porch. Wide eaves with exposed rafter ends, and deep porches, often with the roof extending from the main roof form. A steep-pitched roof can create an attic level, evident from windows to the gable ends or dormer windows.

Materials: Roof is clad with terracotta or cement tiles, or corrugated iron. Walls constructed of timber or brick (sometimes tuckpointed), timber details such as shingles, sections of roughcast render.

Façade composition and form: Freestanding, asymmetrical composition, horizontal emphasis and wide gable ends. Deep verandah and bay windows under the verandah or with skillion-profiled hoods. Verandahs supported by large squat piers with balustrades.

Chimneys: Generally large red brick chimneys, external to the wall. Simple corbelling or just a soldier course at the top, sometimes rendered.

Ornamentation: Timber shingles, or rough-cast render and timber strapping (to reflect half-timbering) to the gable ends. Accents or bands of rough-cast render to brick walls. Large piers supporting the verandah often tapered, sometimes with rough-cast render (also to the balustrade) or topped with timber posts. Leadlight to the windows and doors.

Windows and doors: Casement or double-hung sash windows often with multiple panes to upper sash, bay windows with skillion-profile hoods. Often box windows in a projecting timber frame. Panelled doors high-set window, or glazed doors with geometric patterns. Leadlight to windows, sidelights, glazing of the door, often with Art Nouveau or pictorial motifs.

Set backs: Medium-deep setback allowing for a front garden.

Fences: Woven wire or chain mesh with timber posts and rails, simple timber pickets, sometimes low brick wall with mild-steel ornament and gates.

Moderne/Art Deco houses (1920s-1940s)

Typical features

Roof form: Low-pitched hipped roof form sometimes concealed by parapet, projecting bay to facade, chimneys often external to walls.

Materials: Generally dark-glazed tiles to the roof. Walls are red, clinker or cream-brick, sometimes finished with textured render.

Façade composition and form: Freestanding or a maisonette (duplex), asymmetrical (L-shaped) in plan, prominent entrance porches (generally central) with tall parapets, enclosed with square openings or supported by double columns. Curved corners.

Chimneys: Tall, face brick or rendered. Sometimes indented band at cap, square or rectangular in plan, can be tiered.

Ornamentation: Curved corners, sometimes with single courses/sections of exposed brick to form a pattern, horizontal bands of moulding, abstracted classical or geometric details to porches.

Windows and doors: Single or pairs of double-hung timber sash windows, plain glazing. Often at corners. Single entrance door underneath the porch.

Set backs: Medium-deep setbacks behind a front garden.

Fences: Low, patterned brick wall (generally matching house) with brick piers, generally mild-steel gates.

Spanish Mission & Mediterranean Revival (1920s-1930s)

Typical features

Roof form: Simple or complex hipped roof, porch often set below main roof below a decorative parapet.

Materials: Cordova or (sometimes Marseilles pattern) terracotta or concrete roof tiles and ridge tiles. Walls generally rendered with a decorative texture. Tiles to the verandah floor.

Façade composition and form: Freestanding or a maisonette, usually symmetrical façade with an arcaded porch in the centre supported on columns.

Chimneys: Tall, rendered, sometimes with decorative brick banding at the cap, sometimes with a 'rooflet' capped with Cordova tiles (dove-cote).

Ornamentation: Textured rendered walls, twisted 'Baroque-style' columns with capitals framing windows and entrance porch, arched openings, decorative cast-cement details, bands of decorative panels of face brickwork. Decorative lanterns, leadlight to entrance door. Sometimes bevelled edge glazing.

Windows and doors: Double-hung sash windows often in groups of three, arched heads, sometimes with wrought iron grilles. Pair of entrance doors with decorative leadlight.

Set backs: Medium-deep setbacks to allow for a garden.

Fences: Low, rendered brick wall (generally matching house), bricks or tiles can form decorative hipped capping, often with mild-steel gates. Or woven and cyclone wire mesh with timber posts, timber picket or hedge.

Old English/Tudor Revival (1930s-1940s)

Typical features

Roof form: Steep hip roof form with one prominent gable end. Vergeless gables with corbelled eaves.

Materials: Glazed tiles to the roof, walls are generally deep red or clinker brick with decorative tapestry brickwork, sections rendered, timber strapping.

Façade composition and form: Freestanding or a maisonette, asymmetrical in plan. A prominent gabled-roof entrance porch on brick piers or a small porch beneath the main roof accessed through an arch.

Chimneys: Tall, face brick or rendered, sometimes with simple brickwork, brick banding or terracotta pots.

Ornamentation: Decorative tapestry brickwork and banding, Tudor-revival low pointed arches, timber strapping and rough-cast render to mimic half-timbering, vertical vent to gable end. Sometimes leadlight to the windows, often in a diamond pattern.

Windows and doors: Double-hung timber sash or casement windows placed in groups of three, sometimes with decorative glazing bars and leadlight. Later examples may have steel casement windows. Generally a pair of timber entrance doors with leadlight.

Set backs: Medium-deep setbacks to allow for a front garden.

Fences: Low, patterned brick wall (matching brickwork of the house), sometimes decorative capping, mild-steel gates.

Early post-war/Austerity (1940s)

Typical features

Roof form: Hipped roof form, low-pitch, projecting bay to the façade.

Materials: Terracotta or concrete tiles to the roof, walls brick (veneer) or rendered, manganese brick to the window sills, timber double-hung or steel-framed casement windows.

Façade composition and form: Freestanding houses with asymmetrical façade created by projecting bay. Modest entrance porch with cantilevered (flat) roof, or enclosed porch, sometimes an external chimney to the façade, window bays. Façade with horizontal 'streamlined' emphasis.

Chimneys: Tall, broad rectangular chimneys (usually singular), rendered or face brickwork. Sometimes a chimney to the façade, external to the wall. Modelled forms, such as 'waterfall' stacks in the streamlined Moderne style to later houses.

Ornamentation: Simple ornamentation. If rendered, ornamental face brickwork in bands and often lozenge-shaped, exposed face brick at the base of the wall. Chimney with interesting design, such as waterfall chimneys with brown brick trim. Porches with cantilevered concrete roof, manganese brick sills, corner or 'porthole' windows.

The earliest post-war houses (Austerity) have no applied ornament but rely on the contrast between different colours of bricks for visual interest, simple in design, generally with simple rectangular chimney.

Windows and doors: Steel-framed or timber picture windows in groups of three (one large window with narrow side panels) with a horizontal emphasis, large corner windows, small 'porthole' windows to later examples.

Set backs: Medium-deep setbacks to allow for a front garden.

Fences: Generally simple, low masonry, brick or rendered walls (matching house), sometimes decorative brick capping, with mild-steel gates, or low chain-link and metal pipe fence.

Victorian & early 20th-century commercial buildings

Typical features

Roof form: Generally hipped roof hidden behind a parapet, verandah over footpath. Earlier Victorian shops may not have a parapet.

Materials: *Victorian* – Corrugated iron to the roof, rendered brick or polychrome brickwork.
Early C20th – Corrugated iron to the roof, red brick and roughcast rendered façade.

Façade composition and form: One or two-storey, constructed individually or in rows. Shopfront at ground level with verandah, first floor divided or delineated by pilasters below a decorative parapet.

Original Shopfront: *Victorian* – Central or side indented entrance with tiled floor, timber-framed shop windows with chambered or decorative framing, highlight windows, solid stallboard of panelled timber or cement render. Verandah supported by timber or cast-iron fluted columns and capitals.
Early C20th – Central or side indented entrance with tiled floor and pressed metal soffit; shop windows with metal or metal-covered timber frames and highlights (sometimes leadlights), solid stallboard and surrounds of shop window finished with ceramic tiles. Posted verandah to early examples, later cantilevered verandah with pressed-metal soffit.

Chimneys: *Victorian* – Generally not visible from the street, generally rendered brick.
Early C20th – Generally not visible from the street, simple square red brick, top soldier course.

Ornamentation: *Victorian* – Classical influence to first-floor ornament, generally of cement render or cast-cement, including pilasters, label and hood moulds or moulded architrave to windows, plain or dentilated cornice. Parapet with classical ornament, balustrade, pilasters, urns, central pediment. Painted commercial signs on upper walls.
Early C20th – First floor and parapet treatment varies in style: Free Style, Mediterranean, Bungalow, Early Modern, Art Deco. Many parapets feature an arched or stepped form. Varying types of windows, decorative brickwork, rendered details.

Windows and doors: *Victorian* – Original shop doors generally solid four-panel doors (few survive). First-floor windows rectangular, round or segmentally arched double-hung sashes, usually within cement render architrave.
Early C20th – Timber-framed glazed doors to shop. Windows to the first floor vary in style: usually double-hung sashes, single, pairs, box windows, thermal/Diocletian windows.

Set backs: Flush with footpath, verandah over footpath.

Moonee Valley Language Line

عربي	Arabic	9280 0738	Ελληνικά	Greek	9280 0741	Español	Spanish	9280 0744
中文	Cantonese	9280 0739	Italiano	Italian	9280 0742	Türkçe	Turkish	9280 0745
Hrvatski	Croatian	9280 0740	Somali	Somali	9280 0743	Việt-ngữ	Vietnamese	9280 0746

All other languages 9280 0747

National Relay Service 133 677 or iprelay.com.au

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Email council@mvcc.vic.gov.au | Website mvcc.vic.gov.au

City of Moonee Valley

Planning and Environment Act 1987

MOONEE VALLEY PLANNING SCHEME

AMENDMENT C163

EXPLANATORY REPORT

Who is the planning authority?

This amendment has been prepared by Moonee Valley City Council, which is the planning authority for this amendment.

The amendment has been made at the request of Moonee Valley City Council.

Land affected by the Amendment

The Amendment applies to all land included in the Heritage Overlay.

What the amendment does

The Amendment seeks to support the protection and conservation of heritage places and precincts by providing a clear heritage planning policy framework to guide decision making.

More specifically the Amendment seeks to:

- Amend the Municipal Strategic Statement (MSS) to include the City of Moonee Valley Heritage Guidelines (CMVHG) as a reference document.
- Introduce a new local heritage policy at Clause 22.01 to guide decision making for permit applications for heritage places and give effect to the CMVHG.
- Make consequential changes to Clause 21.03-2 *Built Environment* and Clause 21.06-2 *Heritage* to ensure it provides a clear strategic framework, and avoid repetition by removing redundant provisions that are now proposed to be included in the new Clause 22.01 or the CMVHG.

Strategic assessment of the Amendment

Why is the Amendment required?

The Moonee Valley Planning Scheme Review, implemented via Amendment C134 and gazetted in March 2015, recommended a comprehensive rewrite of the MSS. The aim of proposed changes to the MSS is to significantly improve Council's planning strategies and lead to better and more consistent planning decisions and outcomes for the community. Further work identified to achieve this included the development of updated Heritage Design Guidelines. Accordingly, the CMVHG has been prepared and was adopted by Council in 2016.

The purpose of the CMVHG is to assist property owners, architects, building designers and others with the conservation of heritage places including new alterations and additions, and the design of infill buildings in heritage areas.

In order to give effect to the CMVHG a new local heritage policy has been prepared. The local policy will explain *what* is to be achieved in terms of policy outcomes and the issues that council will take into account when deciding an application, while the CMVHG will complement the policy by explaining *how* the policy can be achieved by

providing examples of appropriate approaches to conservation, alteration, demolition etc.

As a result, relevant clauses in the MSS have been revised to remove redundant provisions that will now be included in the local policy or CMVHG, and to ensure that the MSS provides clear strategic policy direction for the identification, protection and conservation of heritage in Moonee Valley.

How does the Amendment implement the objectives of planning in Victoria?

The amendment will implement the following objectives of planning in Victoria, under Section 4 of the *Planning and Environment Act 1987*:

- 4(1)(a) to provide for the fair, orderly, economic and sustainable use, and development of land;
- 4(1)(d) to conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value;
- 4(1)(f) to facilitate development in accordance with the objectives set out in paragraph (a),(d);
- 4(1)(g) to balance present and future interests of all Victorians.

How does the Amendment address any environmental, social and economic effects?

The amendment is expected to have positive environmental and social effects by protecting and promoting places of local heritage significance in Moonee Valley.

The amendment is not expected to have any adverse environmental or economic effects.

Does the Amendment address relevant bushfire risk?

The amendment is not considered to impact on bushfire risk.

Does the Amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The amendment is considered to be consistent with the *Ministerial Direction on the Form and Content of Planning Schemes* under Section 7(5) of the *Planning and Environment Act 1987.*

Ministerial Direction No.9 - Metropolitan Strategy

Direction 9 requires that Planning Scheme Amendments must have regard to the Metropolitan Strategy (*Plan Melbourne*). The proposed amendment is considered to be consistent with the relevant directions and initiatives of Plan Melbourne as discussed below.

Direction 4.7 aims to manage tensions between development and conservation and *"respect our heritage as we build for the future"*.

This amendment will provide Council with a clear policy framework to guide decision making to ensure that an appropriate balance is struck between conservation and development of heritage places and areas.

How does the Amendment support or implement the State Planning Policy Framework and any adopted State policy?

The amendment is consistent with the State Planning Policy Framework, in particular Clause 15.03 (Built Environment and Heritage) and implements the policy by providing a policy framework to guide decision-making about places identified and assessed as having local heritage significance and included in the Heritage Overlay.

This amendment will directly implement the following strategies under Clause 15.03-1:

Provide for the conservation and enhancement of those places which are of, aesthetic, archaeological, architectural, cultural, scientific, or social significance, or otherwise of special cultural value.

Encourage appropriate development that respects places with identified heritage values and creates a worthy legacy for future generations.

Retain those elements that contribute to the importance of the heritage place. Encourage the conservation and restoration of contributory elements.

Ensure an appropriate setting and context for heritage places is maintained or enhanced. Support adaptive reuse of heritage buildings whose use has become redundant.

How does the Amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?

The amendment will assist in the implementation of Clause 21.03-2, which sets out the Vision for Built Environment in Moonee Valley and the strategic objectives for heritage in Clause 21.06-2 (Heritage). Specifically, it will implement one of the key items of strategic work identified in Clause 21.06-7, which is to 'Develop Heritage Design Guidelines to better guide decision-making'.

Does the Amendment make proper use of the Victoria Planning Provisions?

The amendment has been prepared having regard to the VPP practices notes 'Writing a local policy' and 'Writing a Municipal Strategic Statement'. The proposed changes will ensure:

- The strategic framework for heritage is contained within the Municipal Strategic Statement
- The new heritage policy will build upon the strategic policy in the MSS by guiding decision-making by helping the responsible authority and other users of the scheme to understand how the discretions allowed under the heritage overlay will be considered and exercised.

A local policy is a particularly useful tool for the heritage overlay that, unlike most other overlays, does not allow policy statements, decision guidelines, maps or permit guidelines to form part of the associated schedule. The HO schedule is limited to a list of the places and precinct that are subject to control and indicates the specific controls that may be 'turned on', but not 'switched off'.

Because of this, Heritage Victoria has acknowledged the role of local heritage policies as a tool for the conservation of heritage places and precincts in planning schemes. The Advisory Committee appointed in 2007 to review Heritage provisions in planning schemes also supported the use of local policies, making the following comment:

Local Planning Policy would continue to play a role in heritage management under planning schemes. We see it as being the vehicle for localised sets of guidelines for decisions on permits and to be used to indicate area and building gradings in those municipalities where that approach has been adopted. It should also be the

repository for policies about the timing of demolition and replacement building approvals.

How does the Amendment address the views of any relevant agency?

The views of relevant agencies, including Heritage Victoria will be sought through the public exhibition phase to the amendment.

Does the Amendment address relevant requirements of the Transport Integration Act 2010?

The amendment is not expected to impact on the transport system.

Resource and administrative costs

- **What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The amendment is not expected to result in an increase the number of planning permit applications lodged with Council for buildings and works under the heritage overlay.

Where you may inspect this Amendment

The amendment is available for public inspection, free of charge, during office hours at the following places:

Moonee Valley City Council
Civic Centre
9 Kellaway Avenue
Moonee Ponds VIC3039

The amendment can also be inspected free of charge at the Moonee Valley City Council website at www.mvcc.vic.gov.au and the Department of Environment, Land, Water and Planning website at www.delwp.vic.gov.au/public-inspection.

Planning and Environment Act 1987

MOONEE VALLEY PLANNING SCHEME

AMENDMENT C163

INSTRUCTION SHEET

The planning authority for this amendment is the Moonee Valley City Council.

The Moonee Valley Planning Scheme is amended as follows:

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

1. In Local Planning Policy Framework – replace Clause 21.03 with a new Clause 21.03 in the form of the attached document.

2. In Local Planning Policy Framework – replace Clause 21.06 with a new Clause 21.06 in the form of the attached document.

3. In Local Planning Policy Framework – insert a new Clause 22.01 in the form of the attached document.

End of document

21.03 VISION

05/03/2015
C134

21.03-1 Community vision

05/03/2015
C134

Moonee Valley Next Generation 2035 Community Vision is the community's shared aspirations and values about the city where they want to live, work or play into the future.

The community vision for Moonee Valley is:

In 2035 Moonee Valley will be a city of clean, green and beautiful, vibrant, diverse and sustainable communities that people will experience as friendly and safe to live in.

21.03-2 Strategic planning vision

05/03/2015
C134

Moonee Valley is a City in transition. As such we need to ensure that planning for the future takes into account:

- Significant population growth and demographic change
- Linking transport to employment, housing and education
- Climate change, environmental sustainability and liveability
- Equity and access for all members of the community

The strategic planning vision that is to be delivered through the Municipal Strategic Statement (MSS) is set out under the seven themes of the MSS.

Sustainable Environment

The vision for sustainable environment is for:

A thriving urban ecology, providing habitat, food and shelter for flora and fauna while improving liveability and wellness for our community.

A connected City that meets the daily needs of the community within walking distance, and for homes and workplaces to be low impact, adaptable and healthy places.

A conscious city that makes the best use of valuable resources, prevents pollution and adapts to climate change.

Housing

The vision for housing is for:

An inclusive, sustainable and liveable community where all residents will enjoy a good quality of life.

A diverse range of housing that anticipates the needs of existing and future residents, that is built in appropriate locations and that supports and improves community health and well-being.

New development will enhance the existing areas unique character or ~~cultural~~ heritage significance.

Built Environment

The vision for the built environment is:

For architecture and building design to respond to the environment, local character heritage, and context of the area. To have development that is designed and managed in an environmentally sustainable manner, where public safety and health and wellbeing are prioritised, and that activates the public realm.

~~To have~~For development ~~that respects the ongoing conservation and enhancement of areas~~to respect, complement and enhance~~,~~ ~~buildings~~places of cultural~~,~~ and natural ~~features of architectural, historical and cultural~~heritage value.

Activity Centres

The vision for activity centres is:

To develop economically, environmentally and socially sustainable community places that provide for a range of goods, services, facilities, and diverse housing and transport options to meet the needs of the community now and into the future.

For each activity centre to be a vibrant community place, with commercial, civic, cultural and community value, whilst retaining its own unique identity and character.

Economic Development

The vision for economic development is for:

A City that is a vibrant, diverse and attractive, that meets the needs of the growing population to live, work, invest and prosper, and supports growing and emerging business opportunities.

Transport

The vision for transport and access is:

To have a range of choices for how people move within and to and from Moonee Valley, and improved transport amenity and safety. This will be based on sustainable transport principles.

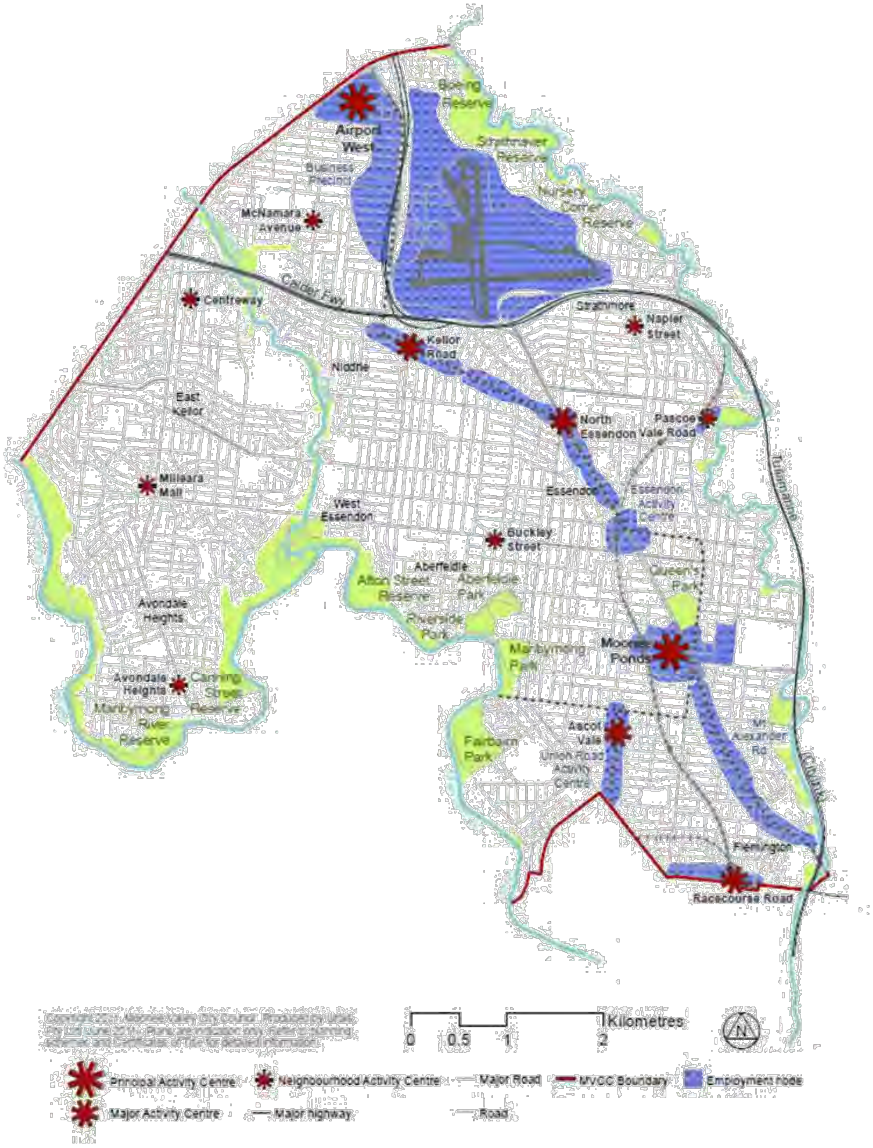
Infrastructure

The vision for social and physical infrastructure is for:

A linked, sustainable and accessible system of quality open spaces and community facilities valued and well used by the community.

Road and stormwater infrastructure and facilities that meet the needs of a growing and changing population, responds to extreme weather conditions and improves the quality of the environment and local waterways.

Strategic Framework Plan



21.06 BUILT ENVIRONMENT

10/09/2015
C144

21.06-1 Neighbourhood Character

05/03/2015
C134

Council recognises that residents are attracted to Moonee Valley because of an appreciation of the aesthetics of the area and aims to provide high quality residential neighbourhoods for future generations. Council supports urban consolidation within Moonee Valley. However, it is recognised that increased residential density is often contentious among residents where building design bears no relation to the established streetscape and street interfaces are poor.

Council acknowledges that all streetscapes within the city possess unique qualities that deserve recognition and careful design responses such as architectural styles, dwelling setbacks, pattern of built form, building materials and landscaping. Council has prepared 'Neighbourhood Character Precinct Profiles' for each Neighbourhood Character Area which will be used in the assessment of all applications.

Moonee Valley's residential neighbourhoods include a number of areas that have been identified for their highly consistent and valued character. These areas of significant neighbourhood character may be valued for a range of reasons such as showing a particularly consistent building form, scale or siting; as an example of a rare or exemplary form of residential development; displaying a high number of intact buildings from a particular era of the City's development; or their particular subdivision quality.

Objective 1

- To ensure new development is in accordance with the preferred character of each residential precinct as outlined in the Neighbourhood Character Precinct Profiles 2012.

Strategy

- Maintain and enhance residential streetscape quality and character.
- To ensure that new development makes a positive contribution to the appearance and amenity of the streetscape.
- Ensure new residential development considers the design objectives as outlined in the Neighbourhood Character Precinct Profiles 2012 as appropriate.
- Ensure the siting of new development contributes to the preferred character of the neighbourhood.
- Ensure that the distinct neighbourhood character attributes within identified significant neighbourhood character areas within the municipality are retained and enhanced.

21.06-2 Heritage

05/03/2015
C134

The Moonee Valley Heritage Strategy 2011 acknowledges the importance of Moonee Valley's heritage places to the built and natural environment. Moonee Valley has extensive areas and numerous individual places of heritage ~~importance~~ significance and the protection and conservation of these heritage assets is required.

In conserving areas of heritage significance there is also a need to provide for adaptive reuse and change of buildings.

In addition to protecting existing heritage places, Council is committed to continually undertake and implement heritage studies to assess places and precincts for their heritage significance.

Objective 1

- To protect and conserve ~~the historic fabric and quality of~~ places of cultural heritage significance including buildings, streetscapes, gardens and archaeological sites.

Strategies

- Ensure all heritage places in Moonee Valley are identified, assessed and documented.
- ~~Protect~~ Provide protection for all ~~designated~~ heritage ~~areas~~places ~~and objects~~ of natural and cultural significance by inclusion in the appropriate overlays.~~.~~
- Promote the identification, protection and management of Aboriginal cultural heritage.
- Reveal and enhance the significance of heritage places by:
  - Encouraging~~e~~ ~~the~~ maintenance and repair rather than replacement, and accurate restoration and ~~renovation~~ reconstruction of ~~existing heritage places~~significant fabric.
  - Discouraging inappropriate additions and alterations and demolition.
- Ensure the significance of heritage precincts is not diminished by:
  - New development that is inappropriate due its scale, siting or design.
  - Incremental loss of buildings and other features including in the public realm that contribute to its significance.
- Consider the cumulative effect of incremental changes to heritage places over time.
- ~~Discourage the use of replica architectural styles.~~
- ~~Facilitate the adaptive reuse of buildings, which acknowledge the importance of identified heritage places within a current day context~~Ensure that heritage places are used and occupied.
- Working with Heritage Victoria to ensure protection of archaeological remains.

Implementation

- Apply the Heritage Policy (22.01) to the assessment of applications under the heritage overlay.
- ~~Ensure that heritage applications are considered in accordance with the "Policy Guidelines" at Clause 21.06-2~~Promote the use of the Moonee Valley Heritage Guidelines 2016.

~~Objective 2~~

- ~~To ensure that new development is sympathetic and integrates with the surrounding buildings.~~

~~Strategies~~

- ~~Encourage setbacks that result in new additions and works that are not visible when viewed from the street frontage.~~
- ~~Encourage a façade height that conforms to the same height as the adjacent building frontages in the street.~~
- ~~Encourage roof forms to be sympathetic to the predominant roof form of the streetscape particularly in heritage overlay precincts.~~
- ~~Encourage ancillary site services that support sustainability of heritage fabric and reduce the operational environmental impact of the existing building (such as solar panels,~~

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~~water tanks, solar hot water systems etc.) to be sensitively integrated into the design of the heritage place. These services may be visible if there is no reasonable alternative location.~~

~~**Policy Guidelines (exercise of discretion)**~~

~~**The demolition of a heritage place is discouraged unless:**~~

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~~**•The heritage place has no heritage value.**~~

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~~**•The heritage place has been changed beyond recognition of its original or subsequent contributory architectural character and:**~~

~~**-It has been identified as a non-contributory building; and**~~

~~**-It does not form part of a group of similar buildings, historic streetscape or collection of historic buildings; and**~~

~~**-The proposed replacement building generally meets the provisions of this policy.**~~

~~**The derelict state of a heritage place will not be a reason for permitting demolition.**~~

~~**Additions and new works to heritage places are encouraged that:**~~

~~**•Do not obscure principal viewlines to heritage buildings or their features, such as verandahs, towers or porticos.**~~

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~~**•Do not obscure principal viewlines to existing significant signage.**~~

~~**•Respect the context of an adjacent contributory heritage building.**~~

~~**New upper storey additions are encouraged where:**~~

~~**•The higher section is hidden from the street, such as behind an existing parapet wall or where impractical located to minimise the impact on the streetscape.**~~

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~~**•The higher section is setback at least the depth of two rooms from the front wall of the dwelling to ensure the preservation of the existing historic ridge line and chimney, if the existing building is a terrace style or attached house.**~~

~~**Buildings and works are encouraged to respect historic trees and historic garden layouts by locating proposed new development at a distance that ensures**~~

~~the ongoing health of the tree that does not negatively impact upon an historic garden layout or context.~~

21.06-3 Safety, Health and Wellbeing

05/03/2015
C134

Council recognises that the design of the built environment can influence the incidence of crime and feelings of safety within a city. It also acknowledges that aspects of the natural and built environment can promote, or be a barrier to public health and wellbeing.

People should feel safe getting around Moonee Valley, whether crossing the road, on public transport, walking about the streets or accessing facilities. In addition to being safe, public and private spaces should also be accessible and promote activity and interaction.

Council supports active planning and design principles that promote opportunities for formal and informal leisure and recreation activities, accessible transport and social connection.

Council recognises that a safe and healthy city must support the varying needs of people at different stages in the life course, including creating a child-friendly and age-friendly municipality.

Council supports the establishment of urban agriculture and localised food supplies to contribute to food security and to the liveability of the municipality.

Objective 1

- To ensure new developments create safe environments.

Strategies

- Encourage the Complete Street principles to design safe, attractive and multipurpose streets.
- Encourage the design of buildings, subdivisions, car parks and public open space that maximises natural surveillance to provide for safe neighbourhoods.
- Encourage building design with active street frontages.
- Discourage designs that provide opportunities for concealment and entrapment along paths and in community spaces.

Objective 2

- To ensure that the design of the public and private environment supports accessibility, wellbeing and healthy living.

Strategies

- Encourage the application of universal design principles that improve accessibility to all aspects of the built environment, including the maintenance and retrofitting of existing building stock, roadways, pedestrian and bicycle paths, and public transport infrastructure.
- Encourage major urban development projects to incorporate landscaped pedestrian and bicycle paths as links to open space where possible.
- Encourage opportunities for social interaction at interfaces between public and private areas, spaces and facilities within multi-storey residential and mixed use development.
- Encourage the provision of public art in new development.

Objective 3

- To provide food friendly neighbourhoods and increase resident and community participation in food production.

Strategies

- Design subdivisions and new buildings to provide for private and, where suitable, shared garden space for food production.
- Prioritise passive solar design principles for garden design to maximise their food growing potential.
- Encourage roof top and vertical gardens to provide opportunity for food growing.

Objective 4

- Ensure that access to healthy food choices is supported by the built environment.

Strategies

- Encourage adequate provision and location of food retail outlets across the municipality.
- Encourage development around activity nodes and good public transport options which will enhance access to food premises.
- Support the establishment of farmers markets and the operation of food carts/vans.
- Support the establishment of community gardens.

21.06-4 Urban Design

05/03/2015
C134

The community's increasingly demanding high quality architectural and urban design outcomes for built form and open spaces. The appearance of residential, commercial and industrial areas is considered important in maintaining a strong level of civic pride.

The siting and design of buildings can have a critical impact on visual appearance within urban streetscapes. Council is keen to ensure that sustainability principles strongly influence the design, siting and servicing of all buildings.

Objective 1

- To achieve contemporary development that is innovative, legible and designed in a manner that responds to its location and context.

Strategies

- Encourage development that provides an appropriate degree of visual interest and design articulation and a high standard of amenity for residents.
- Enhance and create visual and physical links to adjoining streets, public transport and/or key community facilities when developing large or consolidated sites.
- Ensure the siting (including setbacks and site coverage) of new development responds to the opportunities, constraints and features of the site.
- Ensure development minimises off-site amenity impacts.

- Ensure new development presents integrated building forms that have a sense of address.
- Encourage new development to apply design techniques (including façade variation, contrast/repetition, colour, texture and detail) that will integrate a building with its surroundings and create attractive and interesting forms.
- Ensure that new development highlights key corners or intersections through the use of design projections, detailing and massing that presents to its surroundings and street frontages.
- Encourage new developments up to but not exceeding preferred heights as outlined in relevant design guidelines, overlays or plans. In cases where a development seeks to exceed preferred maximum building heights it must clearly demonstrate a net community benefit to be delivered through this increased height, and an exemplary urban design outcome.
- Where relevant all new development must be designed to protect flight safety by recognising its proximity to Essendon Airport and the height restrictions within airspace prescribed under the Airports Act 1996.

Objective 2

- To ensure that new development of five or more storeys is designed and located to complement the surrounding neighbourhood, and is considerate of potential off site impacts.

Strategies

- Ensure development is consistent with the Guidelines for Higher Density Residential Development (Department of Sustainability and Environment 2004), and the City of Moonee Valley Design Guidelines for Multistorey Residential Buildings, December 2003.
- Ensure that taller built form is located within areas that have been identified for High to Substantial Housing Intensification as defined at Clause 21.05-1.
- Ensure that all new development of five or more storeys makes a positive contribution to an area's character, protecting and contributing to its valued natural, built and community qualities.
- Ensure that all new development of five or more storeys reinforces the character of the area. Building height, scale and massing are to be derived from the local context, street conditions and local character objectives.
- Ensure that all new development of five or more storeys provides an appropriate relationship with adjoining buildings, separation between buildings to maximise light, air and outlook.
- Encourage new development of five or more storeys to achieve the highest architectural standards possible. Design should give careful consideration of building scale and form, movement patterns, and external spaces and their interrelationships.
- Ensure that new development of five or more storeys contributes to the creation of private and public open spaces that are accessible, attractive, safe and comfortable for their users.

21.06-5 Signage

09/03/2015
C134

Council recognises that businesses have a right to advertising and well-designed signs that provide information and create interest in the streetscape have an important role in the built environment.

Within Moonee Valley there is a variety of industrial and commercial areas. The expectation for neighbouring residential areas is for a high level of amenity and privacy, with minimal intrusion from business use and signage which is not part of the character of these areas.

Some industrial areas and open spaces along freeways and declared main road offer some limited opportunities for promotional high wall and sky signs in locations with long distance visibility. Generally, these signs are illuminated to maximise their visibility subject to consideration of the impact of such signage on the amenity of the surrounding area.

There is also a wide variety of shopping centres that vary in size, character and the role in which they serve the community. Council promotes a co-ordinated approach to advertising in terms of common themes, colours and building identification.

Objective 1

- To ensure that signage is compatible with the character of the area and its local streetscapes.

Strategies

- Ensure that signs do not cause loss of amenity or adversely affect the natural or built environment, or the safety of efficiency of a road.
- Ensure that advertising signage is considered in accordance with the "Policy Guidelines" at Clause 21.06-5.

Policy Guidelines (exercise of discretion)

- Policy guidelines for signage in residential areas are found at Clause 52.05-3.

For **non-residential uses in residential areas**, Council will consider:

- Business identification signage having regard to the need to avoid visual clutter.
- Illumination of these signs only where it can be shown that the impact from light spillage on adjoining residential areas is minimal.

In **industrial areas**, Council will consider:

- Business and identification signs which are necessary to identify the location of the premises and the use of the building.
- Business directory signs for buildings with multiple occupants/uses.
- Internally illuminated pole signs where the building is set back from the street frontage and for uses such as petrol filling stations and car sales.
- Architecturally innovative sign structures that demonstrate a regard to the building design, scale and presentation and to the surrounding area.
- Promotional signage but only where it can be demonstrated that the amenity of the area will not be detrimentally affected and the sign will not obscure existing signage.

Along or near freeways and main roads, Council will consider:

- Innovative and creative signage which positively contributes to the appearance of the area and enhances and adds interest to the locality
- Architecturally designed and innovative supportive structures.
- Large promotional panel or sky signs but only where they are located in industrial zones and where it can be demonstrated that the signs have been designed to minimise

intrusion on the skyline, not dominate the area of building walls and parapets and not have a negative impact on traffic safety.

- Signs that contain no flashing or intermittent lighting.
- Signs that are designed to become an architectural feature.
- The illumination of promotional signs which have appropriate baffling to minimise light spillage onto adjoining land.

In **commercial areas**, Council will consider the use of:

- Suspended under-verandah sign, including internally illuminated signage.
- Ground and first floor window signs.
- Awning fascia and parapet signs and first floor wall face signs.
- A-frame signs.
- Above verandah signage at 90 degrees angle to the building, if it is appropriate to the scale of the building.
- Projecting above-awning parapet level signs.
- Free-standing pole signs of appropriate scale to the buildings with a front setback.
- Side wall, upper storey panel signs which are of appropriate scale to the building.

21.06-6 Implementation

05/03/2015
C134

- Apply the *Heritage Overlay* to identified heritage places.
- Implement updated heritage precinct citations.
- Apply the *Neighbourhood Character Overlay* to areas which have been identified as having a significant neighbourhood character.
- Apply the *Design and Development Overlay* to control built form outcomes based on adopted built form or urban design guidelines.
- ~~Use the *Heritage Overlay Guidelines* (Heritage Victoria, 2007) when considering applications under the Heritage Overlay.~~

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21.06-7 Further Strategic Work

05/03/2015
C134

- Review the Moonee Valley Neighbourhood Character Study prior to the next Planning Scheme Review in line with relevant VCAT decisions and any other analysis.
- Develop a consolidated permit exemptions policy for heritage precincts and ensure all precinct citations are revised to include identification of contributory and non-contributory buildings/structures.
- Develop Heritage Design Guidelines to better guide decision-making.
- Investigate the places of potential cultural significance recommended for further research in the Moonee Valley Thematic Environmental History.
- ~~Undertake a municipal-wide Stage 1 Heritage Gap Study based on the findings of the Moonee Valley Thematic Environmental History.~~
- Undertake an Aboriginal Cultural Heritage Study.
- Prepare a Food Security Policy.
- Develop an overarching municipal-wide Urban Design Policy to guide built form outcomes.

- Prepare Airport West Design and Development Guidelines.
- Consider the preparation of Design and Development Guidelines for industrial development.
- Develop a Laneway Development Policy.
- Update the Waste Management Guidelines to provide clearer guidance for waste management for multi-storey developments.

21.06-8 Reference Documents

10/09/2015
C144

- Moonee Valley Neighbourhood Character Study, Planisphere, 2012
- Mt Alexander Road Corridor Urban Design Guidelines, 2010
- Urban Design and Development Guidelines for Heritage Areas, Moonee Valley City Council, 2006.
- Guidelines for Higher Density Residential Development, Department of Sustainability and Environment, 2004.
- City of Moonee Valley Design Guidelines for Multistorey Residential Buildings, December 2003.
- Essendon Conservation Study, Graeme Butler, 1985
- ~~Individual data-sheets, City of Moonee Valley~~
- ~~Moonee Valley Heritage Gap Study, Heritage Alliance, 2005~~
- ~~Urban Design and Development Guidelines for Heritage Areas, Moonee Valley City Council, 2006.~~
- Flemington and Kensington Conservation Study (Individual data-sheets, City of Moonee Valley), Graeme Butler, 1995
- Moonee Valley Heritage Gap Study, Heritage Alliance, 2005
- Moonee Valley Heritage Strategy, Moonee Valley City Council, 2011.
- Review of Heritage Overlay Precincts Report, David Helms Heritage Planning 2012.
- Moonee Valley Thematic Environmental History, Living Histories, 2012.
- ~~Guidelines for Higher Density Residential Development, Department of Sustainability and Environment, 2004.~~
- ~~City of Moonee Valley Design Guidelines for Multistorey Residential Buildings, December 2003.~~
- Moonee Valley Thematic Places Heritage Study, Context Pty Ltd, 2012-14
- Heritage Overlay Review, David Helms Heritage Planning, (2014
- Moonee Valley Heritage Study, Context Pty Ltd, 2015
- Moonee Valley Heritage Guidelines, City of Moonee Valley 2016)

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22.01 Heritage

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This policy applies to all land included in the Heritage Overlay.

22.01-1 Policy basis

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This policy:

- Implements the Vision for Moonee Valley in Clause 21.03, and builds on the MSS objectives and strategies for heritage in Clause 21.06, which identifies the use of local policies as one of the key tools to ensure that the cultural heritage of Moonee Valley is protected and conserved.
- Implements the recommendations of the *Moonee Valley Heritage Strategy* 2011 and various heritage studies for the City of Moonee Valley, and gives effect to the *Moonee Valley Heritage Guidelines* 2016.
- Is intended to assist with the consideration of permit applications or amendments sought under Clause 43.01.

22.01-2 Policy objectives

2016
CXX

- To encourage conservation of heritage places in accordance with the principles and procedures set out in the Burra Charter.
- To ensure accurate restoration or reconstruction of heritage places.
- To maintain the integrity, intactness and significance of heritage places.
- To maintain the distinctive historic character and visual cohesion of streetscapes within heritage precincts.
- To ensure that alterations and additions and new buildings respect and complement the heritage place.
- To avoid alterations, additions or demolition that would result in the incremental or complete loss of significance of a heritage place.
- To maintain an appropriate setting for a heritage place including the historic public realm.
- To avoid inadvertent destruction of archaeological remains.

22.01-3 Definitions

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- *Heritage place.* A heritage place includes a site, building or structure, area or group of buildings (also referred to as a 'heritage precinct'), archaeological site, tree, garden, geological formation, fossil site, habitat or other place of identified natural or cultural significance and its associated land.
- *Significant.* A heritage place that has cultural heritage significance independent of its context. *Significant* places may also contribute to the significance of a heritage precinct. *Significant* places will usually have a separate citation and statement of significance (refer to References at the end of this policy).
- *Contributory.* A heritage place that contributes to the significance of a heritage precinct, but would not be significant on its own.
- *Non-contributory.* A place that does not contribute to the significance of a heritage precinct. In some instances, a *Significant* place may be considered *Non-contributory* to a heritage precinct, for example, an important Modernist house within a Victorian era precinct.
- *Public realm*. The public realm includes all non-private property including streets, roads and laneways, and public parks. Public realm features that contribute to the significance of heritage places can include kerb and channel treatments, laneways,

roadside verges, monuments, pavilions, public art, and street trees and other heritage landscape features.

22.01-4 General

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It is policy to:

- Consider the most recent statement of significance if there is more than one statement of significance for a heritage place. If there is a statement of significance at both the individual and precinct level for a heritage place then both should be taken into account.
- Obtain expert heritage advice to identify the contributory elements of a heritage place, where the responsible authority determines that the relevant statement of significance does not clearly identify these.
- Encourage the maintenance, and repair, rather than replacement of original materials and details that contribute to the significance of a heritage place.
- Encourage the accurate restoration or reconstruction of colour schemes, materials and details to a known earlier state. This should be guided by the statement of significance and any additional supporting evidence.
- Conserve views of, vistas to, silhouettes and profiles of a heritage place or within a heritage precinct, where these views or vistas have been identified as contributing to the significance of the heritage place.
- Conserve the visual relationship between heritage places.
- Allow adaptive reuse if the new use supports the conservation of a heritage place.
- Ensure external materials, colours and finishes are appropriate for style and detailing of the heritage place.
- Discourage the painting of originally unpainted surfaces.
- Discourage paint removal methods (such as sandblasting, waterblasting), which may damage the heritage place.
- Discourage introducing vehicle crossovers at the frontage of heritage places, except where the statement of significance identifies crossovers as a contributory feature.

22.01-5 Demolition and relocation

/2016
CXX

It is policy to:

- Discourage the complete demolition of a Significant or Contributory heritage place unless:
  - The heritage place is structurally unsound and it is demonstrated to the satisfaction of the responsible authority that it cannot feasibly be repaired or adapted for reuse.
  - The heritage place is in poor condition and it is proposed to deconstruct and accurately rebuild it to the original condition.
  - As appropriate, a visual record of the building is provided prior to demolition commencing.
- Consider demolition of part of a Significant or Contributory heritage place when it can be demonstrated that the part demolition will not adversely affect the significance of the heritage place and, as appropriate:
  - It will assist in the long term conservation or maintenance of the heritage place, or
  - It will support the viability of the existing use of the heritage place, or will facilitate a new use that is compatible with the on-going conservation of the heritage place, or
  - It will remove non-contributory elements, such as alterations or additions, particularly where this would assist in revealing the significance of the heritage place.
- Allow complete or part demolition of Non-contributory buildings in a heritage precinct.
- Avoid the relocation of a heritage place unless:

- It can be shown that the relocation is the only reasonable means of ensuring the continued existence of the heritage place, or
- The heritage place has a history of relocation and/or is designed for relocation.

- If relocation is considered appropriate, then all of the following conditions should be met:
  - The heritage place can be relocated without damage, and
  - The heritage place is historically recorded on its current site prior to relocation, and
  - An appropriately qualified person oversees the relocation procedure and undertakes the historical recording.

22.01-6 Alterations and additions to heritage places

/2016
CXX

This policy applies to alterations and additions to heritage places including the construction of new garages and outbuildings to a Significant, Contributory or Non-contributory place.

It is policy to:

- For Significant and Contributory places, encourage alterations and additions to respect and complement the associated heritage place in form, siting, scale/height, proportions, details, colours and materials.
- For Significant and Contributory places, discourage alterations and additions that would alter, conceal or destroy/remove features, materials or details that contribute to the significance of the heritage place.
- For Significant and Contributory places, avoid alterations or additions to visible elevations of heritage buildings.
- For all places, discourage alterations and additions that copy historical styles in detail.
- For all places, discourage additions that would be visually dominant.

22.01-7 New buildings

/2016
CXX

This policy applies to infill buildings within a heritage precinct including construction of more than one dwelling on a site.

It is policy to:

- Encourage contextual contemporary design that respects and complements the form, scale, colours, materials, rhythm, siting and spacing of Significant and Contributory buildings.
- Discourage new buildings that would be visually dominant.
- Discourage new buildings that copy historical styles in detail.

22.01-8 Subdivision

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CXX

It is policy to:

- Ensure that subdivision in a heritage precinct is compatible with the historic subdivision pattern.
- Ensure that subdivision maintains the contributory elements associated with a heritage place on a single lot.
- Avoid subdivision that could create the potential for new buildings that could adversely affect a heritage place.

22.01-9 Advertising signs

/2016
CXX

It is policy to:

- Encourage conservation of historic signage that contributes to the significance of a heritage place.

- Encourage advertising signs to have traditional forms and locations on heritage buildings.
- Avoid excessive signage, or any signage that would conceal, damage or require the removal of significant fabric.
- Avoid illuminated signage.

22.01-10 Fences and gates

/2016
CXX

It is policy to:

- Encourage conservation of fences or gates that contribute to the significance of a heritage place.
- Encourage new fences or gates to complement the style and detailing of the heritage place if the original fence cannot be conserved or reinstated and specifically to:
  - Encourage a consistent approach for buildings that form part of a related group of buildings such as an attached pair or terrace row.
  - Encourage front fences to be of a low height, unless there is historic evidence for a higher fence.
  - Encourage front fences to have a level of transparency unless there is historic evidence that supports otherwise.
- Encourage new fences or gates for Non-contributory places to be in a simple contemporary style that complements the historic fences found in the heritage precinct.

22.01-11 Significant trees

/2016
CXX

It is policy to:

- Ensure that any future development, or changes in immediate environmental conditions, adjacent to a tree will not have a detrimental impact upon the integrity and condition of the tree.
- Where a tree needs to be removed due to poor health or dangerous condition, encourage 'like for like' replacement. An alternative species of tree, or no replacement, may be considered when:
  - Changes in the site conditions since the species was first planted mean that the original species is no longer appropriate or is no longer suitable (e.g. due to size or form or proximity to buildings).
  - The original species is inappropriate given the local climate, soils or other reasons and an alternative would be more suited.
  - The species is identified as an environmental weed and cannot be appropriately managed when planted.
  - The species is at risk from pest or disease and another species would be more appropriate.
- Encourage pruning (if required) to be in accordance with AS 4373 – 2007 'Pruning of Amenity Trees'

22.01-12 Public realm

/2016
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It is policy to:

- Retain contributory elements of the public realm.
- Discourage changes to the shape and position of roads and footpaths if these are contributory elements of a heritage place.
- Discourage the replacement of medians or tree planting that would interrupt important vistas or create a visual intrusion on streetscapes.
- Encourage location of services away from sensitive public realm elements.

- Ensure that where the replacement of services requires the removal of any contributory elements in the public realm, existing conditions are recorded and where possible, reinstated to match pre-intervention form.

22.01-13 Archaeology

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CXX

It is policy to refer an application to Heritage Victoria for comment if the heritage place is included on the Victorian Heritage Inventory.

22.01-14 Application requirements

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An application should be accompanied by the following information, as appropriate. This information may not be required for minor applications as determined by the responsible authority:

- A report, which assesses the impact of the proposal upon heritage place. This report should:
  - As part of the site analysis, describe the contributory elements of the heritage place and how these have been considered in the preparation of the application.
  - Describe how the proposal responds to this policy and the *Moonee Valley Heritage Guidelines*.
  - If it is proposed to vary or not comply with any aspect of this policy or the *Moonee Valley Heritage Guidelines*, an explanation of the reasons why.
- For applications where demolition is sought on the basis of the condition of the building a report prepared by a suitably qualified consultant that assesses the structural condition of the building and whether or not any defects can be repaired or restored.
- A Conservation Management Plan prepared by a suitably qualified consultant in accordance with the *Australian ICOMOS Charter for the Conservation of Places of Cultural Significance 2013* (the Burra Charter) may be required for a proposal that the responsible authority considers to raise significant heritage issues.
- A report prepared by a suitably qualified consultant, which assesses the impact of an application upon any tree/s that contribute to the significance or setting of a heritage place.

22.01-15 Decision guidelines

/2016
CXX

It is policy to, as appropriate, consider the following matters when deciding an application:

- The significance of the heritage place.
- The intactness or integrity of the heritage place.
- For alterations or additions to a building or a new infill building within a precinct, as appropriate:
  - The visibility of the alteration, addition or infill building within the streetscape.
  - The intactness of the streetscape.
  - The form, materials, height and setbacks of Significant and Contributory buildings on surrounding sites.
  - The suitability of the proposed colours and materials.
- The physical or documentary evidence to support restoration or reconstruction of historic building fabric.
- The structural condition of the heritage place and whether any defects can be restored.
- The health and condition of a significant tree.

22.01-16 Reference documents

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- *Moonee Valley Heritage Guidelines*, Moonee Valley City Council, 2016
- *Moonee Valley Heritage Study*, Context Pty Ltd, 2015
- *Moonee Valley Thematic Places Heritage Study*, Context Pty Ltd, 2012-14
- *Heritage Overlay Review*, David Helms Heritage Planning, 2014
- *Moonee Valley Thematic Environmental History*, Living Histories, 2013
- *Review of Heritage Overlay Precincts*, David Helms Heritage Planning, 2012
- *Moonee Valley Heritage Strategy*, Moonee Valley City Council, 2011
- *Heritage Assessment: Moonee Ponds Activity Centre Stage 2 report*, David Helms Heritage Planning, 2011
- *Moonee Valley Heritage Gap Study*, Heritage Alliance, 2005
- *Flemington and Kensington Conservation Study (Individual data-sheets, City of Moonee Valley)*, Graeme Butler, 1995
- *Essendon Conservation Study*, Graeme Butler, 1985

Moonee Valley Planning Scheme Heritage Policy Review

Prepared for Moonee Valley City Council

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1 Introduction

1.1 Purpose

Moonee Valley City Council (MVCC) engaged David Helms Heritage Planning to prepare a new local heritage policy framework that will give effect to the recently completed City of Moonee Valley Heritage Guidelines (CMVHG) and build upon the strategic directions in relation to built environment and heritage in the Municipal Strategic Statement (MSS). The key objectives for the project are:

- Review the existing MSS Clause 21.06 (Built Environment) policy framework and identify areas for revision and improvement to avoid unnecessary repetition;
- Based on the findings of the review, develop a local planning policy to better describe the key cultural heritage issues for MVCC based on the draft CMVHG; and
- Give statutory effect to the CMVHG by introducing it into the Moonee Valley Planning Scheme as a reference document, which will enable clearer guidance and decision making for properties affected by the Heritage Overlay (HO).

This report sets out the methodology, and explains the rationale for the new local heritage policy (see Appendix C) and proposed changes to existing heritage policy in the MSS (see Appendix B).

1.2 Approach and methodology

The approach to this project has been informed by preliminary advice prepared for MVCC in 2013 (see Appendix A), which reviewed relevant VPP practice notes and considered three key issues:

- The structure and format of local policies;
- The content of local policies; and
- The role of incorporated and reference documents.

The methodology and approach to this review and its recommendations was also guided by:

- Principles and procedures set out in the Australia ICOMOS Charter for Places of Cultural Significance (the Burra Charter);
- The VPP Practice Note *Applying the Heritage Overlay* (2015) (hereafter referred to as the 'VPP Practice Note'); and
- Comments made by relevant Independent Panel reports and, in particular, the Advisory Committee report for the *Review of Heritage Provisions in Planning Schemes* (the Advisory Committee Report), which was completed in August 2007.

Specifically, the tasks have included:

- A review of existing heritage policy in the Moonee Valley MSS;
- A review of the CMVHG; and
- A review of heritage policy in other planning schemes including City of Ballarat, City of Banyule, City of Greater Geelong, City of Moreland, City of Port Phillip, City and City of Yarra.

2 Review of heritage policy

2.1 Basis for undertaking the review

Because of the unique nature of the HO and its schedule (see Appendix A) a local heritage policy is an appropriate tool to guide decision making when considering applications under the heritage overlay.

The purpose of heritage policy within the planning scheme should be to explain *what* is to be achieved in terms of policy outcomes and the issues that council will take into account when deciding an application. The purpose of heritage guidelines, on the other hand, is to complement the policy by explaining *how* the policy can be achieved by providing examples of appropriate approaches to conservation, alteration, demolition etc.

Specifically, the MSS establishes the strategic framework for the municipality and should show how it supports and implements the State Planning Policy Framework. The role of an MSS is different from the role of a local policy. The local strategic direction of a planning scheme should be contained in the MSS and not in a local policy.

The purpose of a local policy is to guide decision-making by helping the responsible authority and other users of the scheme to understand how a particular discretion is likely to be exercised. A local policy:

- Should not repeat or contradict provisions already within the planning scheme – e.g., the State heritage provisions, MSS, other local policies or the heritage overlay itself;
- Should avoid repetition within itself and not be overly complex;
- Should not include strategic statements that are more appropriately included in the MSS; and
- Should be self-contained and should not rely on external documents or guidelines unless those documents are incorporated into the scheme.

2.2 Review of existing heritage policy

Strategic policy in relation to heritage at the local level in the Moonee Valley Planning Scheme is contained in two clauses:

- Clause 21.03-2 *Strategic planning vision*; and
- Clause 21.06 *Built environment*, specifically clauses 21.06-2 *Heritage* and 21.06-7 *Further strategic work*.

Clause 21.03-2

This sets out the strategic planning vision to be achieved through seven themes in the MSS. One of these is Built Environment. The vision for Built Environment is:

> *For architecture and building design to respond to the environment, local character and context of the area. To have development that is designed and managed in an environmentally sustainable manner, where public safety and health and wellbeing are prioritised, and that activates the public realm.*
>
> *To have development that respects the ongoing conservation and enhancement of areas, buildings, and natural features of architectural, historical and cultural value.*

While this vision is generally appropriate the expression could be improved by including more specific reference to heritage and ensuring the terminology is consistent with the Burra Charter.

The recommended changes are shown in Appendix B.

Clause 21.06-2 and 21.06-7

Clause 21.06-2 includes an overview, two policy objectives each with strategies and policy guidelines for the exercise of discretion.

As for Clause 21.03-2 the expression of the overview, objectives and strategies could be improved by ensuring the terminology is consistent with the Burra Charter. In addition:

- New or amended strategies are required for objective 1 in relation to each key heritage issue including:
  - Identification and assessment
  - Statutory protection by inclusion in the overlay planning scheme overlay
  - Conservation of individual heritage places
  - Conservation of heritage precincts
- Objective 2 and its strategies are more appropriately included in the new local policy or are dealt with In CMVHPG; and
- Similarly, the 'Policy Guidelines (exercise of discretion) are more appropriately included in the local policy or CMVHPG. However, it is noted that some of these are either confusing or inappropriate and they have been revised or replaced in the new heritage policy (see discussion in section 2.3).

Clause 21.06-7 includes two strategies in relation to heritage guidelines:

- One is to use the Heritage Overlay Guidelines 2007 prepared by Heritage Victoria when considering applications under the HO; and
- The other is to 'Develop Heritage Design Guidelines to better guide decision-making'

As the CMVHG have been prepared it is now appropriate to delete both of these strategies and replace them with a reference to the new CMVHG, which will form part of a new sub-section 'Implementation' that will also include reference to the new local heritage policy.

Finally, the Reference Documents at the end of Cl. 21.06 should be updated to ensure the list of heritage studies is complete and correct.

The recommended changes are shown in Appendix B.

2.3 New heritage policy

The new heritage policy (see Appendix C) has been prepared in accordance with the principles set out in section 2.1. It includes:

- A policy basis that explains how it will build upon strategic policy in the MSS, implement key heritage studies and the CMVHG;
- Policy objectives that relate to the key matters – conservation, development including alterations and addition and new buildings, subdivision and archaeology. These build upon the single objective in the MSS;
- Definitions, which are consistent with those in the CMVHG;

- Policies that are, as far as possible, use the same categories as the CMVHG. These follow on from the MSS strategies but do not simply repeat them;
- Decision guidelines; and
- Reference documents.

The provisions removed from Cl. 21.06-2 have not been transferred verbatim into the new policy. In accordance with the principles set out above, the expression of policy has been simplified and consistent terminology used. In addition, policy considered to be inappropriate or poorly worded has been deleted or changed. For example, one policy in Cl. 21.06-02 began with the following introduction:

New upper storey additions are encouraged where:

And while the criteria that followed were generally appropriate the introduction nonetheless implied that upper storey additions are encouraged when they are not.

In addition the policy in relation to demolition is poorly worded and confusing. It also only appears to anticipate complete demolition and doesn't allow discretion to consider part demolition. Specific issues include:

- The first criterion 'The heritage place has no heritage value' contradicts itself. For a property to be identified as a heritage place, it must have heritage value, either individually or as part of a precinct.
- The second criterion refers to a heritage place that 'has been changed beyond recognition of its original or subsequent architectural character' and includes three matters that must also be met, which include:
  - 'It has been identified as a non-contributory building' – if it is a non-contributory (NC) building within a precinct then it is not a heritage place and complete demolition is not an issue.
  - 'It does not form part of a group of similar buildings, historic streetscape or collection of historic buildings' – this is a legitimate matter, but if the building is NC then, once again, this shouldn't be a reason to oppose demolition.

The third matter is 'The proposed replacement building generally meets the provisions of this policy'. The question of whether this is should be a relevant matter when considering complete demolition was discussed at length in the 2007 Advisory Committee Report. After considering numerous submissions by Councils and the National Trust, and reviewing case law the Advisory Committee made the following recommendations (p.4-213):

- *A revised VPP Practice Note should clarify that demolition and new development are separate permit triggers in the HO and that the decisions should not be merged in a way that allows one to 'trade-off' the other.*
- *The HC/HV Guidelines should clarify the matters to be considered when permission is sought under the HO for demolition and a replacement development.*
- *Local policies that include explicit or implicit statements suggesting that a replacement development can compensate or offset the loss of significance caused by demolition of a contributory heritage building should be revised.*

The final policy is 'The derelict state of a heritage place will not be a reason for permitting demolition'. However, while poor condition may not be a reason to allow demolition,

most Councils now accept that structural unsoundness of building, which cannot be rectified, is a legitimate reason to consider demolition. This issue has been discussed in two VCAT decisions:

- *VCAT P1290/2011 Loddon Mallee Housing Services Ltd v. Ballarat City Council*
- *VCAT P1233/2011 Jenkins v Manningham City Council*

In VCAT 1290/2011 the application under review involved the demolition of a Contributory dwelling within a heritage precinct and one of the key issues identified by the Tribunal was 'Is the dwelling 'beyond repair'. The Tribunal made the following comment (item 35) in response:

> *The dwelling on the review site is in a state of disrepair-a fact that was not in dispute by any of the parties. What is in dispute however, is the extent to which the dwelling can or should be retained-ostensibly, how much of the dwelling should be retained and whether or not re-use is financially feasible or reasonable.*

Following on from this, the Tribunal referred to an earlier VCAT decision *CBA Building Designers v. Greater Bendigo CC [2010] VCAT 2088* with the following quote:

> *"The tribunal has held that to support demolition of a building with heritage values and a reasonable level of significance, its physical condition should be beyond repair, both physically and economically. It should be in a ruinous condition. Whilst this is not defined, it would reasonably mean that parts of the building would be likely (50% probability) to collapse within the short to medium term if no remedial works are undertaken. The applicant is required to demonstrate the building has reached this threshold of disrepair. The assessment should also be undertaken by heritage practitioners…" (my underlining)*

The term 'beyond reasonable repair' was also discussed in VCAT 1233/2011, which involved the proposed demolition of an individually listed Significant building. The Tribunal made the following comment (item 19):

> *The term 'beyond reasonable repair' in the context of this application has taken on a financial meaning whereas it can equally mean 'physically possible'. While there is a clear difference of opinion between Mr Hodkinson and Mr Cross about the extent of works required to be undertaken, and hence the cost, there is no disagreement that the older section is capable of being repaired (in the words of Mr Cross). The issue then is not of it being beyond reasonable physical repair but rather of it being beyond reasonable financial repair.*

In deciding to not allow the demolition of the building the Tribunal also made the following comment (item 21):

> *I have also considered the cost of restoration/repair in the context that this is a significant building in its own right and not just a contributory or lower grade building within a heritage precinct. Further, I have considered whether the cost of restoration is reasonable in the context of the locality in which the building is situated.*

Accordingly, the demolition policy has been revised in accordance with the above.

APPENDIX A – Review of VPP practice notes

The structure and format of local policies

According to the VPP practice notes 'Writing a local policy' and 'Writing a Municipal Strategic Statement':

- The Municipal Strategic Statement 'establishes the strategic framework for the municipality and should show how it supports and implements the State Planning Policy Framework'. It goes on to add that 'the role of an MSS is different form the role of a Local Planning Policy (LPP). The local strategic direction of a planning scheme should be contained in the MSS and not in an LPP'.
- The purpose of an LPP is to guide decision-making by helping the responsible authority and other users of the scheme to understand how a particular discretion is likely to be exercised.

The LPP practice note goes on to state that 'there is generally no need to have a separate policy that relates only to the implementation of an overlay'. However, it is my opinion that the heritage overlay is an exception. Unlike most other overlays the HO schedule does not allow policy statements, decision guidelines, maps or permit exemptions to form part of the schedule. The HO schedule is limited to a list of the places and precinct that are subject to control and indicates the specific controls that may apply.

It is my understanding that Heritage Victoria also envisages a role for local policy as a tool in decision making for heritage places, in particular, heritage precincts or areas. The standard brief for Stage 2 heritage studies directs:

> *Where heritage areas are identified (eg precincts, landscapes, complexes, multiple properties etc), the boundaries of each area shall be identified on a map(s) for potential inclusion by the council in a Local Planning Policy or Schedule to an Overlay. All significant places and contributory elements within the heritage area shall be shown on this map(s). Specific objectives and policies for the conservation of the area and significant elements within the area shall be provided in a format which is suitable for ultimate inclusion in either a Local Heritage Policy at Clause 22 of the planning scheme, an Incorporated Plan or in a Schedule to an Overlay.*

The role of local policy was also considered by the RHPPS Advisory Committee, which made the following comment (p.5-237):

> *Local Planning Policy would continue to play a role in heritage management under planning schemes. We see it as being the vehicle for localised sets of guidelines for decisions on permits and to be used to indicate area and building gradings in those municipalities where that approach has been adopted. It should also be the repository for policies about the timing of demolition and replacement building approvals.*

It is my understanding that the outcomes of the HO review if they are implemented will either allow for existing heritage policies to be retained or enable them to be easily translated into the new HO format.[1]

The practice notes direct that an LPP may form part of the MSS or be included as a separate policy in Clause 22. While some councils are moving toward replacing some or all of their Clause 22 LPPs with policy guidelines in the MSS, many, including Moonee Valley, retain an MSS that is supported by a suite of LPPs for particular themes.

The content of local policies

The LPP Practice Note describes how a local policy should be written by providing guiding principles and notes on structure and format. The Practice Note advises that an LPP must be 'clear, precise and user-friendly' and notes that 'using a consistent format will help to deliver these objectives'. On this basis, it provides specific guidance for the preferred format and expression of a policy.

The principles for LPPs include (amongst other things):

- A local policy should not repeat or contradict provisions already within the planning scheme – e.g., the State heritage provisions, Municipal Strategic Statement, other LPPs or the heritage overlay itself. A local policy should also avoid repetition within itself and not be overlay complex.
- A local policy should not include strategic statements that are more appropriately included in the Municipal Strategic Statement.
- A local policy should be self-contained and should not rely on external documents or guidelines unless those documents are incorporated into the scheme.

A common criticism of local policies is that they are overly complex and/or repetitive. The Independent Panel appointed to consider submissions to Amendment C14 to the Buloke Planning Scheme discussed this issue and concluded:

> *We continue to be of the view that it is desirable to reduce the volume and repetition of new policy being added to the Planning Scheme.*

Incorporated & reference documents

The VPP Practice Note 'Incorporated and Reference documents' notes that 'Planning schemes should be transparent and complete in terms of policies and provisions that are relied upon to make decisions about planning matters'. It identifies three types of external document – incorporated documents, reference documents and other documents not mentioned and concludes that 'The decision to incorporate or refer to a document in the planning scheme should be based on the way in which the document will be used or relied upon.'

[1] Verbal advice provided by Geoff Austin, Manager, Heritage Planning, dtpli

For incorporated documents the practice note sets out four situations when a document must be incorporated. Of these, it is my opinion that the following is most relevant:

> *The document will be used to guide the discretion by the responsible authority (except for a development plan under the Development Plan Overlay, which does not need to be incorporated).*

However, the practice note also goes on to say that:

> *Where possible, the best approach is to extract the specific planning decision requirements from a document and include them in the scheme as local planning policy, decision guidelines or requirements in a schedule rather than incorporating the document. This is particularly useful when only parts of the document are relevant or where the document is not written in a way that expresses specific requirements for planning decisions.*
>
> *Some documents may not have been prepared in a format suitable for incorporation. Parts may need to be extracted and incorporated into the scheme or be rewritten in an appropriate form that makes it easy to use in the context of the planning scheme. If the document is intended to provide guidance on the exercise of discretion, then it should be prepared and written with this function in mind.*
>
> *If the document includes plans or guidelines that are lengthy, or contains illustrations, consider publishing them separately and including them as an incorporated document.*

In relation to reference documents the practice note goes on to add:

> *Many documents, while useful, may be too long or complex or cover too wide a subject matter to be suitable for inclusion as an incorporated document in the scheme. If they provide useful background information or general advice to applicants, or will assist in understanding the scheme, they may be suitable as reference documents.*
>
> *A reference document may explain why particular requirements are in the scheme, substantiate a specific issue or provide background to specific decision guidelines in local planning policies or schedules. For example, a flora and fauna study that provides the reason for an Environmental Significance Overlay may be usefully referenced as the basis for the statement of environmental significance.*

And, in answer to the question 'What documents should not be mentioned in the scheme':

> *There is no need to refer to a document if the substantive elements of the document have been included in the scheme in either the MSS, a local planning policy or a schedule, unless it contains additional useful information.*

APPENDIX B – Revised MSS heritage policy

21.03 VISION

05/03/2015
C134

21.03-1 Community vision

05/03/2015
C134

Moonee Valley Next Generation 2035 Community Vision is the community's shared aspirations and values about the city where they want to live, work or play into the future.

The community vision for Moonee Valley is:

In 2035 Moonee Valley will be a city of clean, green and beautiful, vibrant, diverse and sustainable communities that people will experience as friendly and safe to live in.

21.03-2 Strategic planning vision

05/03/2015
C134

Moonee Valley is a City in transition. As such we need to ensure that planning for the future takes into account:

- Significant population growth and demographic change
- Linking transport to employment, housing and education
- Climate change, environmental sustainability and liveability
- Equity and access for all members of the community

The strategic planning vision that is to be delivered through the Municipal Strategic Statement (MSS) is set out under the seven themes of the MSS.

Sustainable Environment

The vision for sustainable environment is for:

A thriving urban ecology, providing habitat, food and shelter for flora and fauna while improving liveability and wellness for our community.

A connected City that meets the daily needs of the community within walking distance, and for homes and workplaces to be low impact, adaptable and healthy places.

A conscious city that makes the best use of valuable resources, prevents pollution and adapts to climate change.

Housing

The vision for housing is for:

An inclusive, sustainable and liveable community where all residents will enjoy a good quality of life.

A diverse range of housing that anticipates the needs of existing and future residents, that is built in appropriate locations and that supports and improves community health and well-being.

New development will enhance the existing areas unique character or ~~cultural~~ heritage significance.

Built Environment

The vision for the built environment is:

For architecture and building design to respond to the environment, local character heritage, and context of the area. To have development that is designed and managed in an environmentally sustainable manner, where public safety and health and wellbeing are prioritised, and that activates the public realm.

~~To have~~For development ~~that respects the ongoing conservation and enhancement of areas~~to respect, complement and enhance~~, buildings~~places of cultural~~,~~ and natural ~~features of architectural, historical and cultural~~heritage value.

Activity Centres

The vision for activity centres is:

To develop economically, environmentally and socially sustainable community places that provide for a range of goods, services, facilities, and diverse housing and transport options to meet the needs of the community now and into the future.

For each activity centre to be a vibrant community place, with commercial, civic, cultural and community value, whilst retaining its own unique identity and character.

Economic Development

The vision for economic development is for:

A City that is a vibrant, diverse and attractive, that meets the needs of the growing population to live, work, invest and prosper, and supports growing and emerging business opportunities.

Transport

The vision for transport and access is:

To have a range of choices for how people move within and to and from Moonee Valley, and improved transport amenity and safety. This will be based on sustainable transport principles.

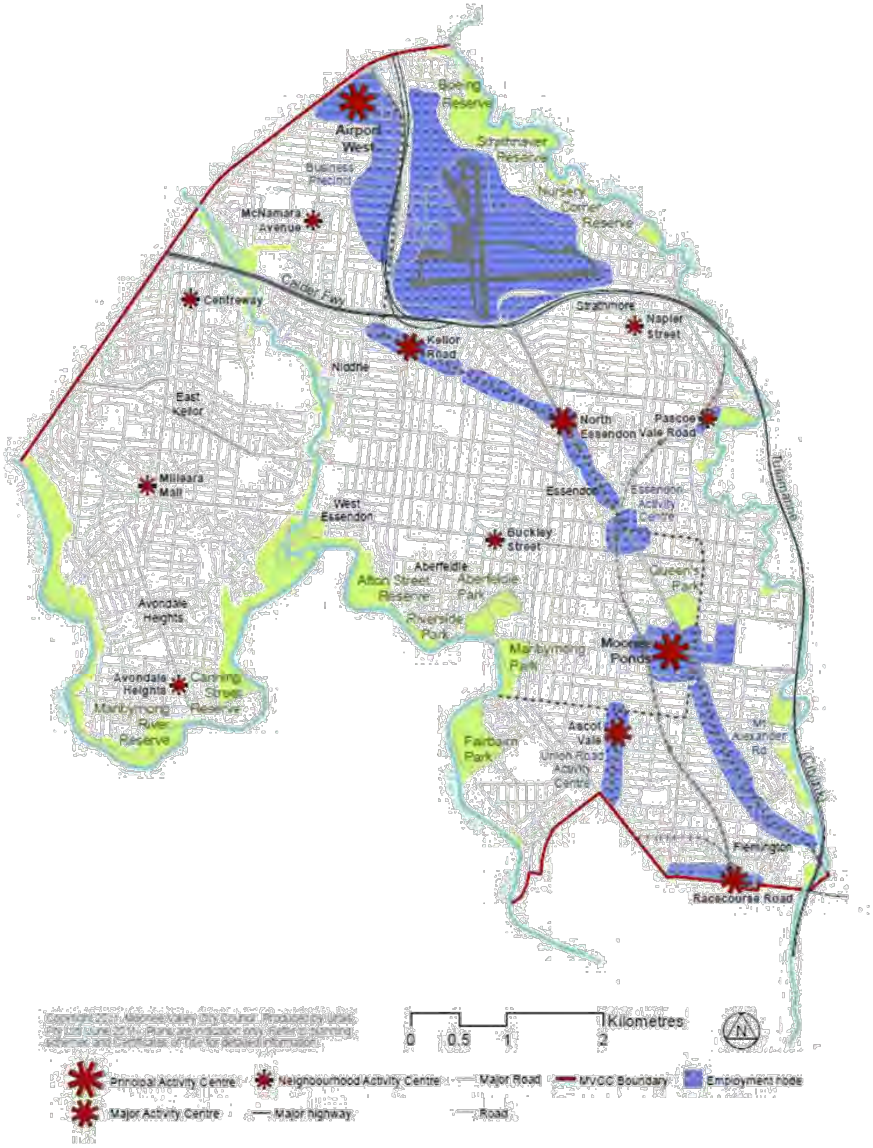
Infrastructure

The vision for social and physical infrastructure is for:

A linked, sustainable and accessible system of quality open spaces and community facilities valued and well used by the community.

Road and stormwater infrastructure and facilities that meet the needs of a growing and changing population, responds to extreme weather conditions and improves the quality of the environment and local waterways.

Strategic Framework Plan



21.06 BUILT ENVIRONMENT

10/09/2015
C144

21.06-1 Neighbourhood Character

05/03/2015
C134

Council recognises that residents are attracted to Moonee Valley because of an appreciation of the aesthetics of the area and aims to provide high quality residential neighbourhoods for future generations. Council supports urban consolidation within Moonee Valley. However, it is recognised that increased residential density is often contentious among residents where building design bears no relation to the established streetscape and street interfaces are poor.

Council acknowledges that all streetscapes within the city possess unique qualities that deserve recognition and careful design responses such as architectural styles, dwelling setbacks, pattern of built form, building materials and landscaping. Council has prepared 'Neighbourhood Character Precinct Profiles' for each Neighbourhood Character Area which will be used in the assessment of all applications.

Moonee Valley's residential neighbourhoods include a number of areas that have been identified for their highly consistent and valued character. These areas of significant neighbourhood character may be valued for a range of reasons such as showing a particularly consistent building form, scale or siting; as an example of a rare or exemplary form of residential development; displaying a high number of intact buildings from a particular era of the City's development; or their particular subdivision quality.

Objective 1

- To ensure new development is in accordance with the preferred character of each residential precinct as outlined in the Neighbourhood Character Precinct Profiles 2012.

Strategy

- Maintain and enhance residential streetscape quality and character.
- To ensure that new development makes a positive contribution to the appearance and amenity of the streetscape.
- Ensure new residential development considers the design objectives as outlined in the Neighbourhood Character Precinct Profiles 2012 as appropriate.
- Ensure the siting of new development contributes to the preferred character of the neighbourhood.
- Ensure that the distinct neighbourhood character attributes within identified significant neighbourhood character areas within the municipality are retained and enhanced.

21.06-2 Heritage

05/03/2015
C134

The Moonee Valley Heritage Strategy 2011 acknowledges the importance of Moonee Valley's heritage places to the built and natural environment. Moonee Valley has extensive areas and numerous individual places of heritage ~~importance~~ significance and the protection and conservation of these heritage assets is required.

In conserving areas of heritage significance there is also a need to provide for adaptive reuse and change of buildings.

In addition to protecting existing heritage places, Council is committed to continually undertake and implement heritage studies to assess places and precincts for their heritage significance.

Objective 1

- To protect and conserve ~~the historic fabric and quality of~~ places of cultural heritage significance including buildings, streetscapes, gardens and archaeological sites.

Strategies

- Ensure all heritage places in Moonee Valley are identified, assessed and documented.
- ~~Protect~~ Provide protection for all ~~designated~~ heritage ~~areas~~places ~~and objects~~ of natural and cultural significance by inclusion in the appropriate overlays.,
- Promote the identification, protection and management of Aboriginal cultural heritage.
- Reveal and enhance the significance of heritage places by:
  - Encouraging~~ the maintenance and repair rather than replacement, and accurate restoration and ~~renovation~~ reconstruction of ~~existing heritage places~~significant fabric.
  - Discouraging inappropriate additions and alterations and demolition.
- Ensure the significance of heritage precincts is not diminished by:
  - New development that is inappropriate due its scale, siting or design.
  - Incremental loss of buildings and other features including in the public realm that contribute to its significance.
- Consider the cumulative effect of incremental changes to heritage places over time.
- ~~Discourage the use of replica architectural styles.~~
- ~~Facilitate the adaptive reuse of buildings, which acknowledge the importance of identified heritage places within a current day context~~Ensure that heritage places are used and occupied.
- Working with Heritage Victoria to ensure protection of archaeological remains.

Implementation

- Apply the Heritage Policy (22.01) to the assessment of applications under the heritage overlay.
- ~~Ensure that heritage applications are considered in accordance with the "Policy Guidelines" at Clause 21.06 2~~Promote the use of the Moonee Valley Heritage Guidelines 2016.

~~Objective 2~~

- ~~To ensure that new development is sympathetic and integrates with the surrounding buildings.~~

~~Strategies~~

- ~~Encourage setbacks that result in new additions and works that are not visible when viewed from the street frontage.~~
- ~~Encourage a façade height that conforms to the same height as the adjacent building frontages in the street.~~
- ~~Encourage roof forms to be sympathetic to the predominant roof form of the streetscape particularly in heritage overlay precincts.~~
- ~~Encourage ancillary site services that support sustainability of heritage fabric and reduce the operational environmental impact of the existing building (such as solar panels,~~

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~~water tanks, solar hot water systems etc.) to be sensitively integrated into the design of the heritage place. These services may be visible if there is no reasonable alternative location.~~

~~**Policy Guidelines (exercise of discretion)**~~

~~**The demolition of a heritage place is discouraged unless:**~~

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~~**•The heritage place has no heritage value.**~~

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~~**•The heritage place has been changed beyond recognition of its original or subsequent contributory architectural character and:**~~

~~**·It has been identified as a non-contributory building; and**~~

~~**·It does not form part of a group of similar buildings, historic streetscape or collection of historic buildings; and**~~

~~**·The proposed replacement building generally meets the provisions of this policy.**~~

~~**The derelict state of a heritage place will not be a reason for permitting demolition.**~~

~~**Additions and new works to heritage places are encouraged that:**~~

~~**•Do not obscure principal viewlines to heritage buildings or their features, such as verandahs, towers or porticos.**~~

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~~**•Do not obscure principal viewlines to existing significant signage.**~~

~~**•Respect the context of an adjacent contributory heritage building.**~~

~~**New upper storey additions are encouraged where:**~~

~~**•The higher section is hidden from the street, such as behind an existing parapet wall or where impractical located to minimise the impact on the streetscape.**~~

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~~**•The higher section is setback at least the depth of two rooms from the front wall of the dwelling to ensure the preservation of the existing historic ridge line and chimney, if the existing building is a terrace style or attached house.**~~

~~**Buildings and works are encouraged to respect historic trees and historic garden layouts by locating proposed new development at a distance that ensures**~~

~~the ongoing health of the tree that does not negatively impact upon an historic garden layout or context.~~

21.06-3 Safety, Health and Wellbeing

05/03/2015
C134

Council recognises that the design of the built environment can influence the incidence of crime and feelings of safety within a city. It also acknowledges that aspects of the natural and built environment can promote, or be a barrier to public health and wellbeing.

People should feel safe getting around Moonee Valley, whether crossing the road, on public transport, walking about the streets or accessing facilities. In addition to being safe, public and private spaces should also be accessible and promote activity and interaction.

Council supports active planning and design principles that promote opportunities for formal and informal leisure and recreation activities, accessible transport and social connection.

Council recognises that a safe and healthy city must support the varying needs of people at different stages in the life course, including creating a child-friendly and age-friendly municipality.

Council supports the establishment of urban agriculture and localised food supplies to contribute to food security and to the liveability of the municipality.

Objective 1

- To ensure new developments create safe environments.

Strategies

- Encourage the Complete Street principles to design safe, attractive and multipurpose streets.
- Encourage the design of buildings, subdivisions, car parks and public open space that maximises natural surveillance to provide for safe neighbourhoods.
- Encourage building design with active street frontages.
- Discourage designs that provide opportunities for concealment and entrapment along paths and in community spaces.

Objective 2

- To ensure that the design of the public and private environment supports accessibility, wellbeing and healthy living.

Strategies

- Encourage the application of universal design principles that improve accessibility to all aspects of the built environment, including the maintenance and retrofitting of existing building stock, roadways, pedestrian and bicycle paths, and public transport infrastructure.
- Encourage major urban development projects to incorporate landscaped pedestrian and bicycle paths as links to open space where possible.
- Encourage opportunities for social interaction at interfaces between public and private areas, spaces and facilities within multi-storey residential and mixed use development.
- Encourage the provision of public art in new development.

Objective 3

- To provide food friendly neighbourhoods and increase resident and community participation in food production.

Strategies

- Design subdivisions and new buildings to provide for private and, where suitable, shared garden space for food production.
- Prioritise passive solar design principles for garden design to maximise their food growing potential.
- Encourage roof top and vertical gardens to provide opportunity for food growing.

Objective 4

- Ensure that access to healthy food choices is supported by the built environment.

Strategies

- Encourage adequate provision and location of food retail outlets across the municipality.
- Encourage development around activity nodes and good public transport options which will enhance access to food premises.
- Support the establishment of farmers markets and the operation of food carts/vans.
- Support the establishment of community gardens.

21.06-4 Urban Design

05/03/2015
C134

The community's increasingly demanding high quality architectural and urban design outcomes for built form and open spaces. The appearance of residential, commercial and industrial areas is considered important in maintaining a strong level of civic pride.

The siting and design of buildings can have a critical impact on visual appearance within urban streetscapes. Council is keen to ensure that sustainability principles strongly influence the design, siting and servicing of all buildings.

Objective 1

- To achieve contemporary development that is innovative, legible and designed in a manner that responds to its location and context.

Strategies

- Encourage development that provides an appropriate degree of visual interest and design articulation and a high standard of amenity for residents.
- Enhance and create visual and physical links to adjoining streets, public transport and/or key community facilities when developing large or consolidated sites.
- Ensure the siting (including setbacks and site coverage) of new development responds to the opportunities, constraints and features of the site.
- Ensure development minimises off-site amenity impacts.

- Ensure new development presents integrated building forms that have a sense of address.
- Encourage new development to apply design techniques (including façade variation, contrast/repetition, colour, texture and detail) that will integrate a building with its surroundings and create attractive and interesting forms.
- Ensure that new development highlights key corners or intersections through the use of design projections, detailing and massing that presents to its surroundings and street frontages.
- Encourage new developments up to but not exceeding preferred heights as outlined in relevant design guidelines, overlays or plans. In cases where a development seeks to exceed preferred maximum building heights it must clearly demonstrate a net community benefit to be delivered through this increased height, and an exemplary urban design outcome.
- Where relevant all new development must be designed to protect flight safety by recognising its proximity to Essendon Airport and the height restrictions within airspace prescribed under the Airports Act 1996.

Objective 2

- To ensure that new development of five or more storeys is designed and located to complement the surrounding neighbourhood, and is considerate of potential off site impacts.

Strategies

- Ensure development is consistent with the Guidelines for Higher Density Residential Development (Department of Sustainability and Environment 2004), and the City of Moonee Valley Design Guidelines for Multistorey Residential Buildings, December 2003.
- Ensure that taller built form is located within areas that have been identified for High to Substantial Housing Intensification as defined at Clause 21.05-1.
- Ensure that all new development of five or more storeys makes a positive contribution to an area's character, protecting and contributing to its valued natural, built and community qualities.
- Ensure that all new development of five or more storeys reinforces the character of the area. Building height, scale and massing are to be derived from the local context, street conditions and local character objectives.
- Ensure that all new development of five or more storeys provides an appropriate relationship with adjoining buildings, separation between buildings to maximise light, air and outlook.
- Encourage new development of five or more storeys to achieve the highest architectural standards possible. Design should give careful consideration of building scale and form, movement patterns, and external spaces and their interrelationships.
- Ensure that new development of five or more storeys contributes to the creation of private and public open spaces that are accessible, attractive, safe and comfortable for their users.

21.06-5 Signage

09/03/2015
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Council recognises that businesses have a right to advertising and well-designed signs that provide information and create interest in the streetscape have an important role in the built environment.

Within Moonee Valley there is a variety of industrial and commercial areas. The expectation for neighbouring residential areas is for a high level of amenity and privacy, with minimal intrusion from business use and signage which is not part of the character of these areas.

Some industrial areas and open spaces along freeways and declared main road offer some limited opportunities for promotional high wall and sky signs in locations with long distance visibility. Generally, these signs are illuminated to maximise their visibility subject to consideration of the impact of such signage on the amenity of the surrounding area.

There is also a wide variety of shopping centres that vary in size, character and the role in which they serve the community. Council promotes a co-ordinated approach to advertising in terms of common themes, colours and building identification.

Objective 1

- To ensure that signage is compatible with the character of the area and its local streetscapes.

Strategies

- Ensure that signs do not cause loss of amenity or adversely affect the natural or built environment, or the safety of efficiency of a road.
- Ensure that advertising signage is considered in accordance with the "Policy Guidelines" at Clause 21.06-5.

Policy Guidelines (exercise of discretion)

- Policy guidelines for signage in residential areas are found at Clause 52.05-3.

For **non-residential uses in residential areas**, Council will consider:

- Business identification signage having regard to the need to avoid visual clutter.
- Illumination of these signs only where it can be shown that the impact from light spillage on adjoining residential areas is minimal.

In **industrial areas**, Council will consider:

- Business and identification signs which are necessary to identify the location of the premises and the use of the building.
- Business directory signs for buildings with multiple occupants/uses.
- Internally illuminated pole signs where the building is set back from the street frontage and for uses such as petrol filling stations and car sales.
- Architecturally innovative sign structures that demonstrate a regard to the building design, scale and presentation and to the surrounding area.
- Promotional signage but only where it can be demonstrated that the amenity of the area will not be detrimentally affected and the sign will not obscure existing signage.

Along or near freeways and main roads, Council will consider:

- Innovative and creative signage which positively contributes to the appearance of the area and enhances and adds interest to the locality
- Architecturally designed and innovative supportive structures.
- Large promotional panel or sky signs but only where they are located in industrial zones and where it can be demonstrated that the signs have been designed to minimise

intrusion on the skyline, not dominate the area of building walls and parapets and not have a negative impact on traffic safety.

- Signs that contain no flashing or intermittent lighting.
- Signs that are designed to become an architectural feature.
- The illumination of promotional signs which have appropriate baffling to minimise light spillage onto adjoining land.

In **commercial areas**, Council will consider the use of:

- Suspended under-verandah sign, including internally illuminated signage.
- Ground and first floor window signs.
- Awning fascia and parapet signs and first floor wall face signs.
- A-frame signs.
- Above verandah signage at 90 degrees angle to the building, if it is appropriate to the scale of the building.
- Projecting above-awning parapet level signs.
- Free-standing pole signs of appropriate scale to the buildings with a front setback.
- Side wall, upper storey panel signs which are of appropriate scale to the building.

21.06-6 Implementation

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- Apply the *Heritage Overlay* to identified heritage places.
- Implement updated heritage precinct citations.
- Apply the *Neighbourhood Character Overlay* to areas which have been identified as having a significant neighbourhood character.
- Apply the *Design and Development Overlay* to control built form outcomes based on adopted built form or urban design guidelines.
- ~~Use the *Heritage Overlay Guidelines* (Heritage Victoria, 2007) when considering applications under the Heritage Overlay.~~

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21.06-7 Further Strategic Work

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- Review the Moonee Valley Neighbourhood Character Study prior to the next Planning Scheme Review in line with relevant VCAT decisions and any other analysis.
- Develop a consolidated permit exemptions policy for heritage precincts and ensure all precinct citations are revised to include identification of contributory and non-contributory buildings/structures.
- Develop Heritage Design Guidelines to better guide decision-making.
- Investigate the places of potential cultural significance recommended for further research in the Moonee Valley Thematic Environmental History.
- ~~Undertake a municipal-wide Stage 1 Heritage Gap Study based on the findings of the Moonee Valley Thematic Environmental History.~~
- Undertake an Aboriginal Cultural Heritage Study.
- Prepare a Food Security Policy.
- Develop an overarching municipal-wide Urban Design Policy to guide built form outcomes.

- Prepare Airport West Design and Development Guidelines.
- Consider the preparation of Design and Development Guidelines for industrial development.
- Develop a Laneway Development Policy.
- Update the Waste Management Guidelines to provide clearer guidance for waste management for multi-storey developments.

21.06-8 Reference Documents

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- Moonee Valley Neighbourhood Character Study, Planisphere, 2012
- Mt Alexander Road Corridor Urban Design Guidelines, 2010
- Urban Design and Development Guidelines for Heritage Areas, Moonee Valley City Council, 2006.
- Guidelines for Higher Density Residential Development, Department of Sustainability and Environment, 2004.
- City of Moonee Valley Design Guidelines for Multistorey Residential Buildings, December 2003.
- Essendon Conservation Study, Graeme Butler, 1985
- ~~Individual data sheets, City of Moonee Valley~~
- ~~Moonee Valley Heritage Gap Study, Heritage Alliance, 2005~~
- ~~Urban Design and Development Guidelines for Heritage Areas, Moonee Valley City Council, 2006.~~
- Flemington and Kensington Conservation Study (Individual data sheets, City of Moonee Valley), Graeme Butler, 1995
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- Moonee Valley Heritage Strategy, Moonee Valley City Council, 2011.
- Review of Heritage Overlay Precincts Report, David Helms Heritage Planning 2012.
- Moonee Valley Thematic Environmental History, Living Histories, 2012.
- ~~Guidelines for Higher Density Residential Development, Department of Sustainability and Environment, 2004.~~
- ~~City of Moonee Valley Design Guidelines for Multistorey Residential Buildings, December 2003.~~
- Moonee Valley Thematic Places Heritage Study, Context Pty Ltd, 2012-14
- Heritage Overlay Review, David Helms Heritage Planning, (2014
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- Moonee Valley Heritage Guidelines, City of Moonee Valley 2016)

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APPENDIX C – New local heritage policy

22.01 Heritage

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This policy applies to all land included in the Heritage Overlay.

22.01-1 Policy basis

/2016
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This policy:

- Implements the Vision for Moonee Valley in Clause 21.03, and builds on the MSS objectives and strategies for heritage in Clause 21.06, which identifies the use of local policies as one of the key tools to ensure that the cultural heritage of Moonee Valley is protected and conserved.
- Implements the recommendations of the *Moonee Valley Heritage Strategy* 2011 and various heritage studies for the City of Moonee Valley, and gives effect to the *Moonee Valley Heritage Guidelines* 2016.
- Is intended to assist with the consideration of permit applications or amendments sought under Clause 43.01.

22.01-2 Policy objectives

2016
CXX

- To encourage conservation of heritage places in accordance with the principles and procedures set out in the Burra Charter.
- To ensure accurate restoration or reconstruction of heritage places.
- To maintain the integrity, intactness and significance of heritage places.
- To maintain the distinctive historic character and visual cohesion of streetscapes within heritage precincts.
- To ensure that alterations and additions and new buildings respect and complement the heritage place.
- To avoid alterations, additions or demolition that would result in the incremental or complete loss of significance of a heritage place.
- To maintain an appropriate setting for a heritage place including the historic public realm.
- To avoid inadvertent destruction of archaeological remains.

22.01-3 Definitions

/2016
CXX

- *Heritage place.* A heritage place includes a site, building or structure, area or group of buildings (also referred to as a 'heritage precinct'), archaeological site, tree, garden, geological formation, fossil site, habitat or other place of identified natural or cultural significance and its associated land.
- *Significant.* A heritage place that has cultural heritage significance independent of its context. *Significant* places may also contribute to the significance of a heritage precinct. *Significant* places will usually have a separate citation and statement of significance (refer to References at the end of this policy).
- *Contributory.* A heritage place that contributes to the significance of a heritage precinct, but would not be significant on its own.
- *Non-contributory.* A place that does not contribute to the significance of a heritage precinct. In some instances, a *Significant* place may be considered *Non-contributory* to a heritage precinct, for example, an important Modernist house within a Victorian era precinct.
- *Public realm*. The public realm includes all non-private property including streets, roads and laneways, and public parks. Public realm features that contribute to the significance of heritage places can include kerb and channel treatments, laneways,

roadside verges, monuments, pavilions, public art, and street trees and other heritage landscape features.

22.01-4 General

/2016
CXX

It is policy to:

- Consider the most recent statement of significance if there is more than one statement of significance for a heritage place. If there is a statement of significance at both the individual and precinct level for a heritage place then both should be taken into account.
- Obtain expert heritage advice to identify the contributory elements of a heritage place, where the responsible authority determines that the relevant statement of significance does not clearly identify these.
- Encourage the maintenance, and repair, rather than replacement of original materials and details that contribute to the significance of a heritage place.
- Encourage the accurate restoration or reconstruction of colour schemes, materials and details to a known earlier state. This should be guided by the statement of significance and any additional supporting evidence.
- Conserve views of, vistas to, silhouettes and profiles of a heritage place or within a heritage precinct, where these views or vistas have been identified as contributing to the significance of the heritage place.
- Conserve the visual relationship between heritage places.
- Allow adaptive reuse if the new use supports the conservation of a heritage place.
- Ensure external materials, colours and finishes are appropriate for style and detailing of the heritage place.
- Discourage the painting of originally unpainted surfaces.
- Discourage paint removal methods (such as sandblasting, waterblasting), which may damage the heritage place.
- Discourage introducing vehicle crossovers at the frontage of heritage places, except where the statement of significance identifies crossovers as a contributory feature.

22.01-5 Demolition and relocation

/2016
CXX

It is policy to:

- Discourage the complete demolition of a Significant or Contributory heritage place unless:
  - The heritage place is structurally unsound and it is demonstrated to the satisfaction of the responsible authority that it cannot feasibly be repaired or adapted for reuse.
  - The heritage place is in poor condition and it is proposed to deconstruct and accurately rebuild it to the original condition.
  - As appropriate, a visual record of the building is provided prior to demolition commencing.
- Consider demolition of part of a Significant or Contributory heritage place when it can be demonstrated that the part demolition will not adversely affect the significance of the heritage place and, as appropriate:
  - It will assist in the long term conservation or maintenance of the heritage place, or
  - It will support the viability of the existing use of the heritage place, or will facilitate a new use that is compatible with the on-going conservation of the heritage place, or
  - It will remove non-contributory elements, such as alterations or additions, particularly where this would assist in revealing the significance of the heritage place.
- Allow complete or part demolition of Non-contributory buildings in a heritage precinct.
- Avoid the relocation of a heritage place unless:

- It can be shown that the relocation is the only reasonable means of ensuring the continued existence of the heritage place, or
- The heritage place has a history of relocation and/or is designed for relocation.

- If relocation is considered appropriate, then all of the following conditions should be met:
  - The heritage place can be relocated without damage, and
  - The heritage place is historically recorded on its current site prior to relocation, and
  - An appropriately qualified person oversees the relocation procedure and undertakes the historical recording.

22.01-6 Alterations and additions to heritage places

/2016
CXX

This policy applies to alterations and additions to heritage places including the construction of new garages and outbuildings to a Significant, Contributory or Non-contributory place.

It is policy to:

- For Significant and Contributory places, encourage alterations and additions to respect and complement the associated heritage place in form, siting, scale/height, proportions, details, colours and materials.
- For Significant and Contributory places, discourage alterations and additions that would alter, conceal or destroy/remove features, materials or details that contribute to the significance of the heritage place.
- For Significant and Contributory places, avoid alterations or additions to visible elevations of heritage buildings.
- For all places, discourage alterations and additions that copy historical styles in detail.
- For all places, discourage additions that would be visually dominant.

22.01-7 New buildings

/2016
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This policy applies to infill buildings within a heritage precinct including construction of more than one dwelling on a site.

It is policy to:

- Encourage contextual contemporary design that respects and complements the form, scale, colours, materials, rhythm, siting and spacing of Significant and Contributory buildings.
- Discourage new buildings that would be visually dominant.
- Discourage new buildings that copy historical styles in detail.

22.01-8 Subdivision

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It is policy to:

- Ensure that subdivision in a heritage precinct is compatible with the historic subdivision pattern.
- Ensure that subdivision maintains the contributory elements associated with a heritage place on a single lot.
- Avoid subdivision that could create the potential for new buildings that could adversely affect a heritage place.

22.01-9 Advertising signs

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It is policy to:

- Encourage conservation of historic signage that contributes to the significance of a heritage place.

- Encourage advertising signs to have traditional forms and locations on heritage buildings.
- Avoid excessive signage, or any signage that would conceal, damage or require the removal of significant fabric.
- Avoid illuminated signage.

22.01-10 Fences and gates

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It is policy to:

- Encourage conservation of fences or gates that contribute to the significance of a heritage place.
- Encourage new fences or gates to complement the style and detailing of the heritage place if the original fence cannot be conserved or reinstated and specifically to:
  - Encourage a consistent approach for buildings that form part of a related group of buildings such as an attached pair or terrace row.
  - Encourage front fences to be of a low height, unless there is historic evidence for a higher fence.
  - Encourage front fences to have a level of transparency unless there is historic evidence that supports otherwise.
- Encourage new fences or gates for Non-contributory places to be in a simple contemporary style that complements the historic fences found in the heritage precinct.

22.01-11 Significant trees

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It is policy to:

- Ensure that any future development, or changes in immediate environmental conditions, adjacent to a tree will not have a detrimental impact upon the integrity and condition of the tree.
- Where a tree needs to be removed due to poor health or dangerous condition, encourage 'like for like' replacement. An alternative species of tree, or no replacement, may be considered when:
  - Changes in the site conditions since the species was first planted mean that the original species is no longer appropriate or is no longer suitable (e.g. due to size or form or proximity to buildings).
  - The original species is inappropriate given the local climate, soils or other reasons and an alternative would be more suited.
  - The species is identified as an environmental weed and cannot be appropriately managed when planted.
  - The species is at risk from pest or disease and another species would be more appropriate.
- Encourage pruning (if required) to be in accordance with AS 4373 – 2007 'Pruning of Amenity Trees'

22.01-12 Public realm

/2016
CXX

It is policy to:

- Retain contributory elements of the public realm.
- Discourage changes to the shape and position of roads and footpaths if these are contributory elements of a heritage place.
- Discourage the replacement of medians or tree planting that would interrupt important vistas or create a visual intrusion on streetscapes.
- Encourage location of services away from sensitive public realm elements.

- Ensure that where the replacement of services requires the removal of any contributory elements in the public realm, existing conditions are recorded and where possible, reinstated to match pre-intervention form.

22.01-13 Archaeology

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It is policy to refer an application to Heritage Victoria for comment if the heritage place is included on the Victorian Heritage Inventory.

22.01-14 Application requirements

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An application should be accompanied by the following information, as appropriate. This information may not be required for minor applications as determined by the responsible authority:

- A report, which assesses the impact of the proposal upon heritage place. This report should:
  - As part of the site analysis, describe the contributory elements of the heritage place and how these have been considered in the preparation of the application.
  - Describe how the proposal responds to this policy and the *Moonee Valley Heritage Guidelines*.
  - If it is proposed to vary or not comply with any aspect of this policy or the *Moonee Valley Heritage Guidelines*, an explanation of the reasons why.
- For applications where demolition is sought on the basis of the condition of the building a report prepared by a suitably qualified consultant that assesses the structural condition of the building and whether or not any defects can be repaired or restored.
- A Conservation Management Plan prepared by a suitably qualified consultant in accordance with the *Australian ICOMOS Charter for the Conservation of Places of Cultural Significance 2013* (the Burra Charter) may be required for a proposal that the responsible authority considers to raise significant heritage issues.
- A report prepared by a suitably qualified consultant, which assesses the impact of an application upon any tree/s that contribute to the significance or setting of a heritage place.

22.01-15 Decision guidelines

/2016
CXX

It is policy to, as appropriate, consider the following matters when deciding an application:

- The significance of the heritage place.
- The intactness or integrity of the heritage place.
- For alterations or additions to a building or a new infill building within a precinct, as appropriate:
  - The visibility of the alteration, addition or infill building within the streetscape.
  - The intactness of the streetscape.
  - The form, materials, height and setbacks of Significant and Contributory buildings on surrounding sites.
  - The suitability of the proposed colours and materials.
- The physical or documentary evidence to support restoration or reconstruction of historic building fabric.
- The structural condition of the heritage place and whether any defects can be restored.
- The health and condition of a significant tree.

22.01-16 Reference documents

/2016
CXX

- *Moonee Valley Heritage Guidelines*, Moonee Valley City Council, 2016
- *Moonee Valley Heritage Study*, Context Pty Ltd, 2015
- *Moonee Valley Thematic Places Heritage Study*, Context Pty Ltd, 2012-14
- *Heritage Overlay Review*, David Helms Heritage Planning, 2014
- *Moonee Valley Thematic Environmental History*, Living Histories, 2013
- *Review of Heritage Overlay Precincts*, David Helms Heritage Planning, 2012
- *Moonee Valley Heritage Strategy*, Moonee Valley City Council, 2011
- *Heritage Assessment: Moonee Ponds Activity Centre Stage 2 report*, David Helms Heritage Planning, 2011
- *Moonee Valley Heritage Gap Study*, Heritage Alliance, 2005
- *Flemington and Kensington Conservation Study (Individual data-sheets, City of Moonee Valley)*, Graeme Butler, 1995
- *Essendon Conservation Study*, Graeme Butler, 1985

URBAN DESIGN & DEVELOPMENT GUIDELINES FOR HERITAGE AREAS

Moonee Valley

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These Guidelines apply to both properties within the heritage precincts and individual heritage properties outside heritage precincts that are listed in the schedule to the Heritage Overlay, Moonee Valley Planning Scheme.

Refer to the relevant planning scheme map to determine whether a property is located within a Heritage Overlay.

Introduction

There are many areas within the City of Moonee Valley that are special places which have recognised historical or architectural significance. Some of these special places have been designated as Heritage Areas and are protected by the Moonee Valley Planning Scheme. Any works associated with restoration, additions or infill development that occurs within these special areas must be sensitive to the housing and streetscape character.

The City of Moonee Valley has prepared a set of Guidelines which will play a key role in conserving and enriching our remarkable City for future generations to enjoy. These guidelines indicate the preferred approach to be used with regard to conservation and restoration, extensions and infill development within the Heritage Overlay. Council strongly suggests that residents use these Guidelines when considering alterations or renovations to their property.

Council offers a free service to all residents and property owners of places within the Heritage Overlay of the Moonee Valley Planning Scheme. Should you wish to use the Heritage Advisory Service, bookings can be made by telephoning the Planning Department on 9243 8815.

As a further service to Moonee Valley residents Council has an Architectural Advisory Service where you can obtain advice about alterations and renovations to properties. For a fee of $55.00 (inclusive of GST) an architect can meet with you to discuss your plans and prepare a rough sketch of the proposed alterations. Application forms for the Architectural Advisory Service are available from Council's Town Planning Department by phoning 9243 8780.

Aim & Objectives

Aim

To conserve and enhance areas, buildings and natural features of architectural, historical or cultural value for future generations.

Objectives

- To conserve Moonee Valley's cultural heritage to ensure its future conservation and continued relevance to the community.
- To educate the community and promote the importance of appropriate conservation.
- To promote the City's heritage.
- To conserve the historic fabric of places of cultural heritage significance including buildings, streetscapes, gardens and archaeological sites.
- To conserve the historic quality of heritage places through careful consideration of proposed buildings and works.
- To ensure that new development is sympathetic and integrates with the surrounding buildings.

4

Conservation and Reconstruction

Demolition

A permit for the total or partial demolition of a building subject to the Heritage Overlay (either as an individual building or as part of a precinct) will not be granted unless it:

- Has no heritage value.
- Has been changed beyond recognition of its original or subsequent contributory architectural character.
- Does not contribute to the heritage character of the streetscape.
- Does not form part of a group of similar buildings, historic streetscape or collection of historic buildings.
- The proposed replacement building meets the provisions of these guidelines.

Note: A heritage building's derelict state is not, in itself, a case for demolition under the provisions of these Guidelines.

Removal of Architectural features and details

The demolition or removal of contributory features and details from a heritage place will not be permitted unless the proposed demolition or removal:

- does not negatively impact upon the cultural heritage significance or architectural character of the place;
- cannot be seen from the street.

Relocation

The moving of all or part of a heritage building from its original location will not be normally permitted unless:

* The location is not an important component of the cultural heritage significance of the heritage place.
* It can be shown that relocation is the only reasonable means of ensuring the survival of the heritage place.

Contributory features and details include:

- Window shapes (such as double hung or casement) shutters and surrounds, including shop windows and external display cases.
- Roof shapes and ridge lines and materials (such as corrugated iron, slate and gutter styles)
- Chimneys (including industrial) Verandahs and balconies
- Stained glass and lead light
- Parapet walls
- Towers, spires, columns, bay windows and other significant details
- Front fences and garden walls
- Exterior door panels that can be seen from the street
- Balustrades (and their frieze brackets)
- Internal staircases (where they comply with Building Commission Australia standards)
- Original gardens
- Equipment (such as engines, weigh bridges set into roads)
- Historic signs, (including internally illuminated and painted structures)
- Trussed and pressed metal ceilings, light fittings and other internal fitments
- Paving treatments to roads and laneways (such as bluestones)
- Fittings such as historic bollards, bracket or post lighting, former gas lamp bases, watering troughs
- Outbuildings such as stables and privies

Any other element that contributes to the historic appearance and/or significance of the heritage place.

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Removal of Historic Trees and Gardens

The removal of significant trees or gardens that are listed in the schedule to the Heritage Overlay will not be permitted unless:

- They are causing structural damage to an existing structure; and
- They cannot be seen from the street.

The removal of or alterations to historic gardens will not be permitted unless the historic garden has changed beyond recognition of its original or contributory character.

Reconstruction

Reconstruction is encouraged only where:

- A building, road, laneway or architectural element is incomplete or damaged and where there is sufficient evidence to reproduce the missing fabric.
- It will not distort or obscure its heritage significance or detract from its appreciation.
- It sensitively reconstructs contributory features which have been removed, including front fences, verandahs, roofing, windows, road/laneway surface details or other architectural details and features.

Painting

A permit is required to paint a heritage building (or part of) that is listed in schedule of the Heritage Overlay.

New works should not involve sand blasting of render, masonry or timber surfaces.

The painting of previously unpainted surfaces is discouraged.

The careful removal of paint (with an approved non-destructive process) from originally unpainted masonry surfaces is encouraged.

Use of a Heritage Place

The schedule to the Heritage Overlay, identifies heritage places where prohibited uses may be permitted. A prohibited use may be permitted provided that any associated works:

- Are substantially reversible and do not require reconstruction; and/or
- Have a minimal impact on the culturally significant fabric of the building.

Buildings & New Works - All Heritage Places

Buildings and new works include additions and alterations to existing buildings as well as infill development. The design of new works should avoid confusion with the original historic fabric so there is a clear visual distinction between the old and new building. New buildings should not copy or reproduce period detail or form. In contrast there is an opportunity to use contemporary modern design and materials while still being sympathetic to the original fabric.

Design

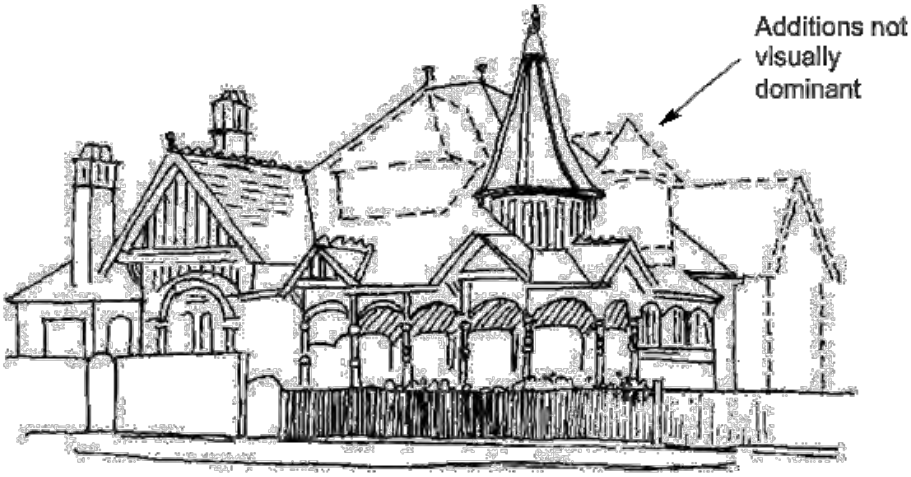
Additions and new works to heritage places are encouraged where the design:

- ensures the original fabric remains intact;
- Is not be visually dominant in existing heritage place or street in terms of size, height and bulk when viewed from the street frontage;
- Considers the architectural integrity of the heritage place;
- Reflect the particular rhythm, spatial characteristics and character of the surrounding historic streetscape;
- Avoids blank walls at ground and upper floor levels when viewed from surrounding streets.
- Retains original bluestone road/laneway materials and details.

8

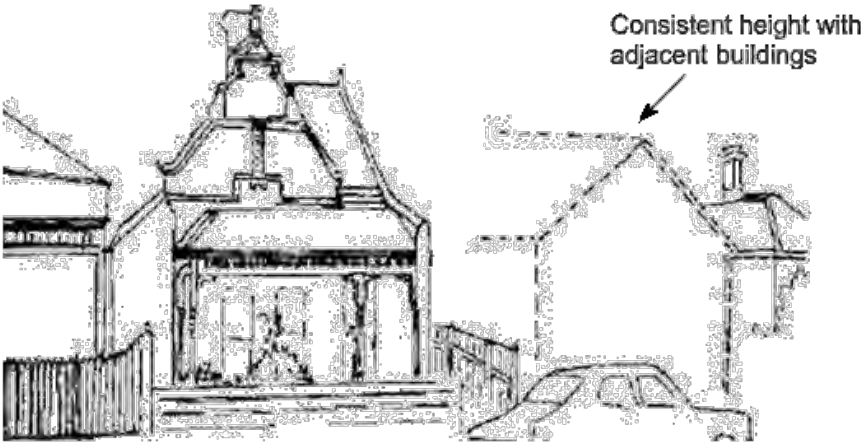
Set backs

- Additions and new works should aim to ensure that they are not seen from the surrounding streetscape.



Height

- The building height of alterations and new works is encouraged to be consistent with the height of the adjacent building frontages in the street
- Taller buildings may be permissible at the rear of sites as long as they do not visually dominate surrounding heritage places.



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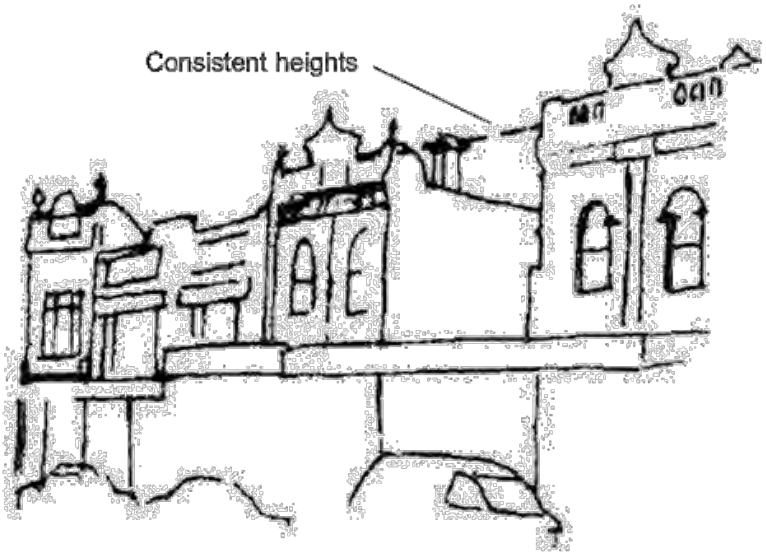


Building orientation to the street

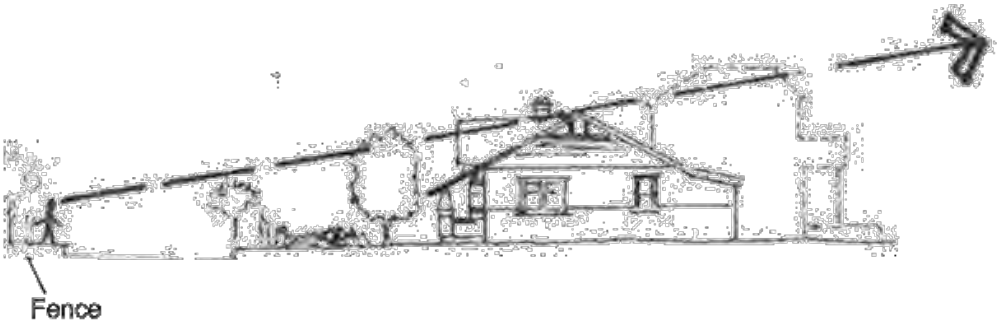
- Buildings are encouraged to be orientated to the street to conform to the same pattern as the existing buildings in the street (where there is a dominant subdivision pattern)

Viewlines

Additions and new works are encouraged not to obscure principal viewlines to:

- heritage buildings or their features such as verandahs, towers, porticos.
- to existing significant signage.

Note: In some cases, it may be permissible to allow low visual impact alterations such as attic windows within the visible roof or higher additions to the rear of the main roof ridge.



New upper storey additions

New upper storey additions to residential heritage places are inappropriate unless the higher section is:

- Hidden from the street (such as behind an existing parapet wall); or
- If the existing building is a terrace style or attached housing only the higher section is setback at least the depth of two rooms from the front wall of the dwelling to ensure the preservation of the existing historic ridge line and chimney.

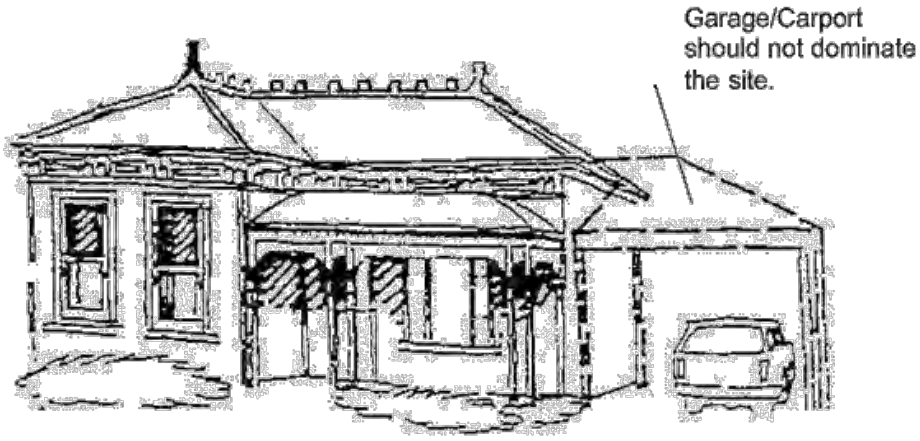
Historic trees and gardens

Additions and works should respect historic trees and gardens layouts by ensuring that any new development does not impact on the ongoing health of the tree or the historic garden layout or context.

Carports, carparks, garages, and other additions

Carports are not typical of the periods prior to World War II and are discouraged. Carports, garages, driveways and parking spaces will not normally be permitted unless:

- Existing frontage setbacks on the street are irregular; and
- They are setback behind principal architectural features; and
- Will not obscure viewlines to the facade or viewlines of adjacent buildings from the street frontage.
- The design compliments the associated heritage place but does not replicate the heritage features.



11

Fences & Gates

The height and design of new front fences and gates should:

- Not obscure views to heritage places from surrounding streets.
- Be a maximum of 1.2 metres in height if solid or 1.5 metres if more than 50% transparent.
- Be consistent with the architectural period of the building.

The fences found in the City of Moonee Valley can be broadly identified as follows:

Victorian

Cast iron balusters fixed to stone plinth or timber picket fences.

Queen Anne/Edwardian/Federation

Capping rail between timber posts or masonry piers, 1.2 metre high.

Inter War/Californian Bungalow

Woven wire fixed to timber posts and rails, trimmed hedges, low brick and/or rendered fences detailed to reflect house.

Early Modern

Low brick fences using house bricks and detailing.

Ancillaries

Additions and new works should conceal ancillaries such as:

- Satellite dishes
- Air conditioning plants
- Water meters
- Access ladders
- Roof top gardens
- Rubbish bins
- Wall and roof top mounted lighting solar heating systems

12

Buildings & New Works - Industrial and Commercial Heritage Places

Additions

The following additions will not normally be permitted:

- Contemporary balconies
- Promotion signs
- Roof top gardens
- Pedestrian entrance canopies and other ancillary structures
- Reflective glass to windows
- Roof top mounted signs

These works may be permitted in exceptional circumstances, if:

- They do not negatively impact upon the significance or architectural character of the place; and/or
- They cannot be seen from the street.

New upper storey additions to industrial places are inappropriate unless:

- The higher section is hidden from the street; and/or
- The higher section is hidden behind an existing parapet wall.

Definitions

Building
Structure, work and fixture and any part of the building, structure, work or fixture.

Conservation
The retention of the cultural heritage and significance of a place or object; and

Any maintenance, preservation, restoration, reconstruction or sustainable use of a place or object

Cultural heritage
Places and objects of cultural heritage significance

Cultural heritage significance
Includes aesthetic, archaeological, architectural, cultural, historical, scientific or social significance

Development
The construction or exterior alteration or exterior decoration or a building; and

The demolition or removal of a building or works; and

The subdivision or consolidation of land, including the buildings or airspace; and

The placing or relocation or a building or works on land; and

The construction or putting up for display of signs or hoardings

Heritage Place
A building; and

A garden; and

A tree; and

A precinct; and

A site.

Reconstruction
Means returning a historic place as nearly as possible to a known earlier state and is distinguishable by the introduction of materials (new or old) into the fabric

Works
Include any change to the natural or existing condition or topography of land including the removal, destruction or lopping of trees and the removal of vegetation or topsoil.

Useful References

Chalmers R.W.. The Annals of Essendon, Volume 1 (1850's to 1924), Essendon Historical Society, 1998.*

Chalmers R.W.. The Annals of Essendon, Volume 2 (1925 to 1962), Essendon Historical Society, 1998.*

Chalmers R.W.. The Annals of Essendon, Volume 3 (1963 to 1985), Essendon Historical Society, 1998.*

Essendon Conservation Study, Commissioned by City of Essendon, 1985.

Flemington & Kensington Conservation Study & Building Identification Sheets. Volume 1 - 25. City of Melbourne, 1985.

Harvey D. & Waters C.. A Guide to Altering Old Houses. City of Essendon, 1985.

Vines M. Outhead G. & Leigh J.. Identification of Housing Styles and Faults. Melbourne, RMIT, 1996.

All these references are available at the Local History Room, Sam Merrifield Library, 762 Mt Alexander Road, Moonee Ponds. Phone: 9370 0636.

** The Annals uses the Essendon Gazette as the main reference for detailed information on prominent houses, estates and streets. Records of the Essendon Gazette are available on microfiche and will be soon available on computer.*

For further information on:

- Council's Heritage Advisory Service
- Council's Architectural Advisory Service
- Council's Heritage Overlay

Contact Council's Planning Department on 9243 8815.

Council also has the following brochures available:

- Heritage Funding for Local Community Projects
- A Guide to Fences & Colour Schemes for Residences in Moonee Valley
- Veranda & Facade Restoration Project

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Web Site www.mvcc.vic.gov.au
Email council@mvcc.vic.gov.au

This booklet should only be used as a guide and is provided purely for the interest of the local community. No liability can be accepted for any error or omission by Moonee Valley City Council.